

KIMBARK RESIDENTIAL DEVELOPMENT

CARBINE & ASSOCIATES, LLC

1811 KIMBARK, UNIT 4
NASHVILLE, TN 37215



906
STUDIO

ARCHITECTS

143 Fifth Avenue South
Franklin, TN 37064
615.988.9065
906studio.com



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2022, 906 STUDIO ARCHITECTS, LLC.
DRAWINGS AND DESIGN CONCEPTS
SHALL NOT BE USED OR REPRODUCED
IN WHOLE OR PART IN ANY FORM
WITHOUT PRIOR WRITTEN CONSENT
OF 906 STUDIO ARCHITECTS, LLC.

| NO. | DESCRIPTION | DATE |
|-----|-------------------------------|------------|
| | CONSTRUCTION SET | 05/10/2019 |
| 1 | PLAN CHANGES | 05/24/2019 |
| 2 | PLAN COMMENTS FROM BUILDER | 08/30/2019 |
| 3 | 2X6 WALL CHANGES | 11/05/2019 |
| 4 | PLAN CHANGES | 08/12/2019 |
| 5 | PLAN CHANGES | 01/25/2022 |

906
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Project Number
19.1012

ABBREVIATIONS

| | | | | | |
|----------|--|----------|--|----------|--|
| A | A/C Air Conditioning ADJ Adjust(able) A.F.F. Above Finished Floor ALUM Aluminum ALT Alternate ARCH Architectural ASPH Asphalt ATT Attach(ed) | H | HDR Header HDW Hardware HH Head Height HORIZ Horizontal HP High Point HR Hour HGT Height HVAC Heating, Ventilation, & Air Conditioning | S | S&R Shelf and Rod SA Supply Air SAG Supply Air Grill SAN Sanitary SC Sealed Concrete SCH Schedule SCWD Solid Core Wood Door SDF Soap Dispenser (Foam) SDL Soap Dispenser (Liquid) SEC Secure(d) SECT Section SHT Sheet SIM Similar SPEC Specification(s) SQ Square SQ IN Square Inch(es) SQ FT Square Feet/Foot SQ YD Square Yard(s) SS Service Sink SST Stainless Steel ST Steel Tube STC Sound Transmission Coefficient STD Standard STL Steel STOR Storage STRUCT Structural SUSP Suspend(ed), (sion) SW Solid Wood SYS Systems Furniture Element |
| B | BD Board BLDG Building BLKG Blocking BM Benchmark BRG Bearing BUR Built-Up Roof B.O.C. Bottom of Curb B.O.S. Bottom of Steel BOT Bottom B.O.W. Bottom of Wall | I | IN Inch(es) INSUL Insulate(d), (ing), (ion) INT Interior INV Invert | T | T Tread(s)/Tempered T&G Tongue and Groove TEMP Temporary THK Thick(ness) THR Threshold TLT Toilet T.O. Top of T.O.C. Top of Curb T.O.P. Top of Parapet T.O.W. Top of Wall TPD Toilet Paper Dispenser TRTD Treated TYP Typical |
| C | CAB Cabinet CB Catch Basin CEM Cement CIP Cast-In-Place CJ Contraction Joint CLG Ceiling CLR Clear/Clearance CMU Concrete Masonry Unit COL Column CONC Concrete CONST Construction CONT Continuous/Continued COORD Coordinate CORR Corrugates, (ed) CPT Carpet CT Ceramic Tile CTSK Countersunk CU Cubic CU FT Cubic Foot/Feet CU YD Cubic Yard(s) CW Curtain Wall | J | JST Joist JT Joint | U | UNO Unless Noted Otherwise |
| D | D Depth DBL Double DF Drinking Fountain DIM Dimension DN Down DR Door DS Down Spout DTL Detail DW Dishwasher DWG Drawing | K | KIT Kitchen | V | VB Vapor Barrier, Vinyl Base VERT Vertical VIF Verify in Field VOL Volume VT Vinyl Tile |
| E | EF Each Face EJ Expansion Joint ELEC Electric(al) ELEV Elevation/Elevator EOS Edge of Slab EQ Equal EQUIP Equipment EW Each Way EXH Exhaust EXIST Existing EXP Expansion/Exposed EXT Exterior | L | L Length LAM Laminate(d) LL Live Load LP Low Point LWR Lower LVR Louver | W | W Wide/Width W/ With (included) W/O Without WC Water Closet WD Wood WDW Window WH Water Heater WP Waterproofing WR Water Resistant WRB Water Resistant Barrier WWM Welded Wire Mesh |
| F | FD Floor Drain FF Finish(ed) Floor F.F.E. Finished Floor Elevation FH Flat Head FIN Finish(ed) FLR Floor F.O. Face of F.O.G. Face of Glazing F.O.M. Face of Masonry F.O.S. Face of Stud FRMG Framing FRT Fire Retardant Treated FRP Fiberglass Reinforced Polymer FSTN Fasten(ed), (er), (ing) FT Foot/Feet FTG Footing | M | MAS Masonry MATL Material MAX Maximum MB Machine Belt MECH Mechanical MFR Manufacturer MIN Minimum MISC Miscellaneous MO Masonry Opening MRGB Moisture Resistant Gypsum Board MT Metal Threshold MTL Metal MULL Mullion | X | -- |
| G | GA Gauge/Gage GALV Galvanize(d) GL Glass/Glazing GYP Gypsum GYP. BD. Gypsum Board | N | NIC Not In Contract NO. Number NTS Not To Scale | Y | YD Yard |
| | | O | OC On Center OD Outside Diameter OH Opposite Hand OPNG Opening OPP Opposite | Z | -- |
| | | P | PB Protection Board PJ Panel Joint PL Property Line PLAM Plastic Laminate PLYWD Plywood PREFAB Prefabricate(d), (fion) PNT Point PT Pressure Treated PTD Paint(ed) PVC Polyvinyl Chloride | | |
| | | Q | -- | | |
| | | R | R Riser/Radius RA Return Air RAD Radius RAG Return Air Grill RAR Return Air Register RCP Reflected Ceiling Plan RD Roof Drain REF Refrigerator REF Reinforce(d), (ing), (ment) REINF Reinforce(d), (ing), (ment) RET Retain(ing), Retention RH Round Head RL Rain Leader RM Room RO Rough Opening ROW Right of Way RS Rough Sawn RVL Reveal | | |

PROJECT TEAM

OWNER

CARBINE & ASSOCIATES, LLC
621 BRADLEY COURT
FRANKLIN, TN 37067
615-661-9995

ARCHITECT

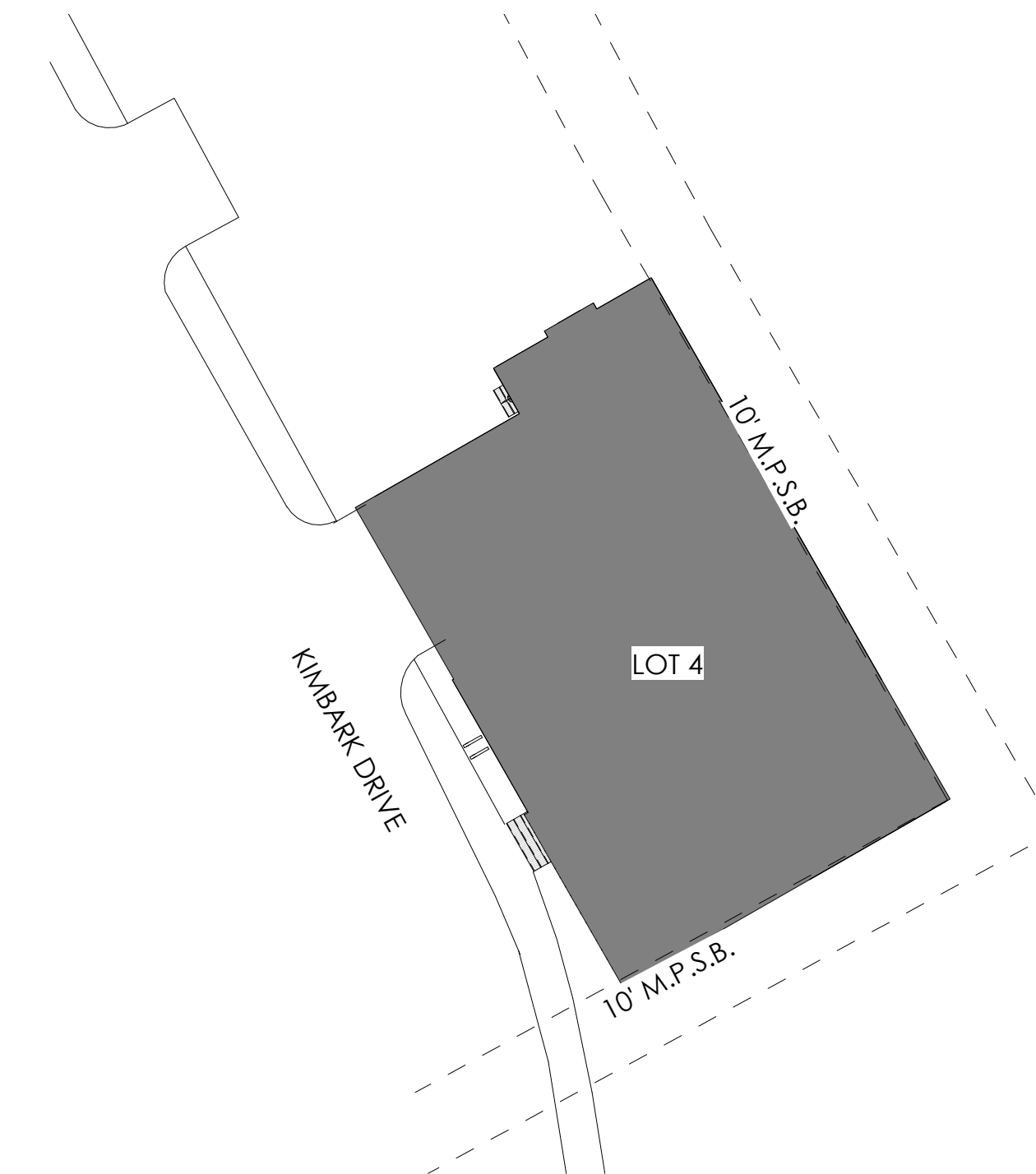
PRINCIPAL - MICHAEL HATHAWAY, AIA
906 STUDIO ARCHITECTS LLC
143 5TH AVE. SOUTH
FRANKLIN, TN 37064
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SHEET INDEX

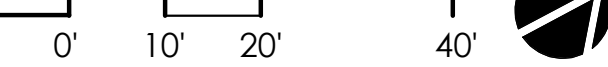
| SHEET NO. | SHEET NAME | ISSUE DATE | CURRENT REVISION DATE |
|-----------|-------------------|------------|-----------------------|
| A001 | GENERAL NOTES | 05/10/2019 | |
| A100 | FOUNDATION PLAN | 05/10/2019 | 01/25/2022 |
| A101 | FIRST FLOOR PLAN | 05/10/2019 | 01/25/2022 |
| A102 | SECOND FLOOR PLAN | 05/10/2019 | 08/12/2020 |
| A110 | ROOF PLAN | 05/10/2019 | 11/05/2019 |
| A300 | ELEVATIONS | 05/10/2019 | 08/12/2020 |
| A301 | ELEVATIONS | 05/10/2019 | 08/12/2020 |
| A350 | PERSPECTIVE VIEWS | 05/10/2019 | 11/05/2019 |
| A400 | DETAILS | 05/10/2019 | 11/05/2019 |
| A401 | DETAILS | 05/10/2019 | 11/05/2019 |
| A600 | ELECTRICAL PLAN | 05/10/2019 | 08/12/2020 |
| A601 | ELECTRICAL PLAN | 05/10/2019 | 08/12/2020 |

SITE PLAN NOTES

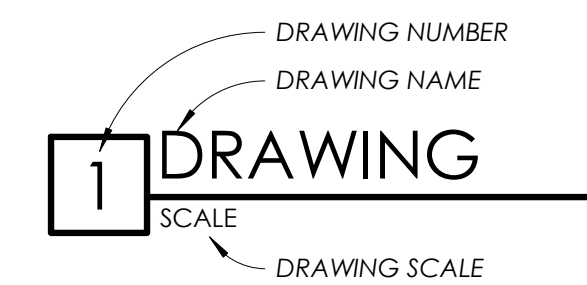
- STRUCTURES SHALL BE LOCATED BY A QUALIFIED SURVEYOR ONLY AND SHALL FURNISH PAD CERTIFICATION REPORT TO OWNER PRIOR TO PLACING OF FOUNDATION.
- PROPERTY LINE DIMENSIONS ARE PREPARED WITH INFORMATION FURNISHED BY THE OWNER AND SHALL NOT BE CONSTRUED TO BE A SURVEY OF THE PROPERTY. FINAL STRUCTURE PLACEMENTS IN RELATION TO THE PROPERTY LINES SHALL BE DESIGNED ON THE CIVIL DRAWINGS AND SHALL CONFORM TO ALL LOCAL ZONING AND BUILDING CODES, AMENDMENTS AND/OR APPROVED VARIANCES. BUILDER SHALL LOCATE ALL STRUCTURES AND CERTIFY COMPLIANCE WITH SETBACKS PRIOR TO ANY WORK.
- REFERENCE CIVIL/LANDSCAPE PLANS FOR GRADING, ON SITE CONSTRUCTION & OFF SITE CONSTRUCTION THAT MAY REQUIRE A SEPARATE BUILDING PERMIT. COORDINATE WITH LOCAL BUILDING DEPT.
- ALL EXTERIOR WALLS NOT ATTACHED TO THE PRIMARY STRUCTURE SHALL REQUIRE A SEPARATE BUILDING PERMIT.
- SIDEWALKS, DRIVEWAYS, AND OTHER FLAT WORK MAY BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT.



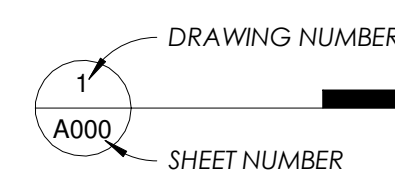
1 SITE PLAN
1" = 20'-0"



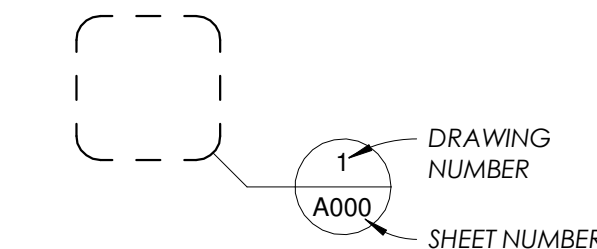
KEYNOTE LEGEND



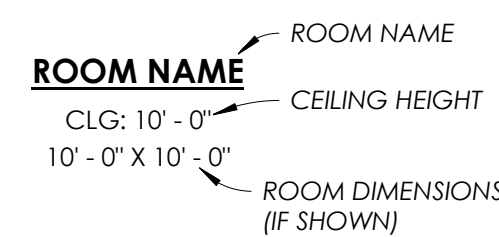
DRAWING TITLE TAG



SECTION TAG



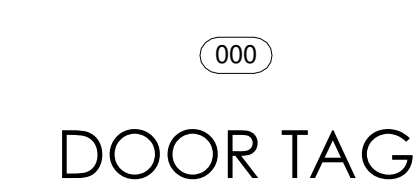
DETAIL TAG



ROOM TAG



WINDOW TAG



DOOR TAG

GENERAL NOTES:

- BY USING THESE CONSTRUCTION DOCUMENTS THE BUILDER IS BOUND BY ALL NOTES IN THESE DOCUMENTS.
- IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES.
- THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE DESIGN INTERPRETATION OF THE CONSTRUCTION DOCUMENTS.
- ALL GENERAL NOTES APPLY TO THE SCOPE OF THIS TOTAL PROJECT, WHETHER OR NOT THEY ARE KEYED ON EVERY SHEET TO A SPECIFIC DETAIL.
- THE CONSTRUCTION DOCUMENTS ARE PROVIDED FOR BASIC CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY CALLED OUT ON DRAWINGS.
- ERRORS OR OMISSIONS IN ANY SCHEDULE OR DRAWING DO NOT RELIEVE THE CONTRACTOR(S) FROM EXECUTING WORK INTENDED IN THE DRAWING.
- THE BUILDER SHALL NOT SCALE DRAWINGS.
- ALL MATERIAL FINISH SELECTIONS SHALL BE APPROVED BY THE BUILDER PRIOR TO INSTALLATION.
- THE BUILDER SHALL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS, CONDITIONS, AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND ARCHITECT IN WRITING PRIOR TO BID.
- ALL EXTERIOR EXPOSED WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO ENSURE A WEATHER TIGHT CONDITION. CONTRACTOR SHALL PROVIDE ALL CAULKING AND WEATHER BARRIER MATERIALS REQUIRED FOR WEATHER TIGHT/WATERPROOF CONDITIONS. ALL OCCUPIED SPACES SHALL RECEIVE AN INSULATION BARRIER THAT IS CONTINUOUS AT ALL EXTERIOR WALL, CEILING, AND FLOOR SURFACES.
- THE BUILDER SHALL SUPERVISE AND DIRECT THE WORK, USING THE BUILDER'S BEST SKILL AND ATTENTION. THE BUILDER SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS.
- THE BUILDER, PRIOR TO CONSTRUCTION, SHALL COORDINATE THE LOCATION AND INSTALLATION OF BUILDING SYSTEMS AND EQUIPMENT AND VERIFY THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE EQUIPMENT AND ASSOCIATED WORK ARE PROVIDED. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING SYSTEMS: MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, TELEPHONE, LOW VOLTAGE, ETC.
- BUILDER SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND PROTECT DURING CONSTRUCTION.
- THE BUILDER SHALL COORDINATE WITH ALL BUILDING TRADES INVOLVED IN THE PROJECT TO ENSURE PROPER CLEARANCES FOR FIXTURES, DUCTS, CEILING, ETC., CONTRACTOR SHALL COORDINATE ALL TRADES INCLUDED TO MAINTAIN CEILING HEIGHTS NOTED ON THE DRAWINGS. CONFLICTS SHALL BE REPORTED IN WRITING TO THE ARCHITECT.
- UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE BUILDER SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES, AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK. THE BUILDER SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF WORK.
- "TYPICAL" (TYP.) MEANS IDENTICAL FOR ALL CONDITIONS WHICH MATCH THE ORIGINAL CONDITION INDICATED UNLESS OTHERWISE NOTED.
- PRIOR TO SUBSTANTIAL COMPLETION, CONTRACTOR SHALL REMOVE ALL DUST, DEBRIS, OILS, STAINS, GLUES, AND FINGERPRINTS FROM EXPOSED SURFACES INCLUDING GLAZING AND REFLECTORS OF LIGHT FIXTURES. WINDOWS SHALL BE WASHED. EVERYTHING MUST BE CLEANED TO ACHIEVE SUBSTANTIAL COMPLETION. ANY PUNCH-LIST WORK AND SURROUNDING SURFACES MUST ALSO BE CLEANED.
- UNDER NO CIRCUMSTANCES IS THE USE OF WATER RESISTANT GYP. BD. "GREEN BOARD" AS A BACKING FOR TILE OR WALL PANELS IN ANY POTENTIALLY "WET" AREAS TO BE USED. USE ONLY "FIBEROCK" BRAND "AQUA-TOUGH" INTERIOR PANELS RATED FOR MOISTURE AND MOLD RESISTANCE OR APPROVED EQUAL. SHOWER STALLS SHALL BE FINISHED WITH A HARD, NON-ABSORBENT MATERIAL TO A HEIGHT OF 70" MIN. ABOVE THE DRAIN INLET.
- EVERY BEDROOM SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW OF NOT LESS THAN 5.7 SQ. FT. AND SHALL BE LOCATED WITH THE SILL NOT MORE THAN 44" ABOVE THE FLOOR. BUILDER TO VERIFY SIZES SHOWN ON THIS DOCUMENT TO MEET THIS CODE.
- PROVIDE A MINIMUM 30"x22" ATTIC ACCESS OPENING WITH A MINIMUM HEADROOM CLEARANCE OF 30" WHEN MECHANICAL EQUIPMENT IS INSTALLED IN THE ATTIC SPACE. THE OPENING SHALL BE LOCATED IN A HALLWAY, CORRIDOR OR OTHER READILY ACCESSIBLE LOCATION PER IRC.
- STAIR RISER HEIGHT SHALL NOT EXCEED 7 3/4" PER IRC.
- RETURN AIR ACCESS LOCATIONS TO BE VERIFIED IN FIELD.
- PROVIDE SMOKE DETECTOR SYSTEM PER APPLICABLE CODES.
- PROVIDE WOOD BLOCKING (FIRE RETARDANT WHERE REQUIRED BY CODE) INSIDE PARTITIONS FOR SECURING WALL-HUNG CABINETS, SHELVING TRIM, MILLWORK, AND OTHER ELEMENTS ATTACHED TO WALLS AS REQUIRED TO ENSURE FLUSH, STRAIGHT, WELL SECURED CONDITIONS.
- THE BUILDER SHALL VERIFY THAT THE PLACEMENT OF INSULATION CREATES A COMPLETE THERMAL BARRIER BETWEEN CONDITIONED SPACE AND EXTERIOR UNCONDITIONED SPACE.

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GENERAL NOTES

A001

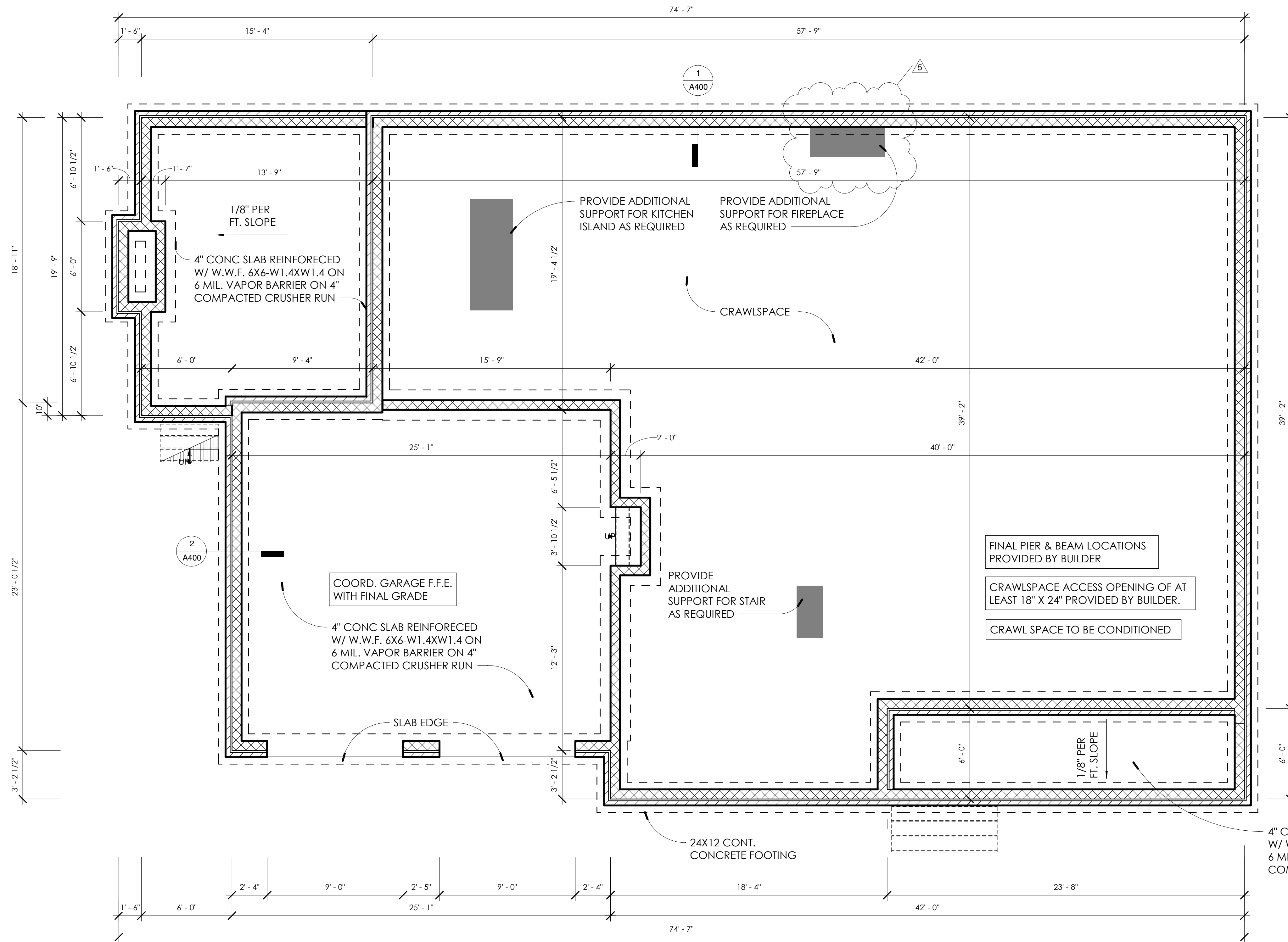
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FOUNDATION NOTES

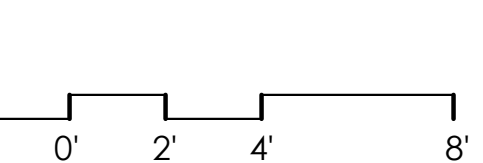
- BUILDER SHALL INSPECT SITE CONDITIONS PRIOR TO STARTING ACTUAL CONSTRUCTION. BUILDER SHALL NOTIFY THE OWNER OR LICENSED STRUCTURAL ENGINEER OF ANY NON-TYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUES WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.
- BUILDER SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING FOR NEW FOUNDATIONS.
- BUILDER TO VERIFY AND DETERMINE APPROPRIATENESS OF STEPPED FOUNDATION WALLS PER EXTERIOR GRADES.
- BUILDER ASSUMES RESPONSIBILITY FOR VERIFYING STRUCTURAL INTEGRITY OF ALL BEAMS AND FRAMING MEMBERS PRIOR TO VERIFICATION. ALL STRUCTURAL ELEMENTS SHOULD BE VERIFIED PER EXISTING AND/OR MODIFIED SITE CONDITIONS.
- BUILDER TO PROVIDE TERMITE TREATMENTS AND PROTECTION THAT COMPLY WITH LOCAL BUILDING CODES
- FOUNDATION SUB-CONTRACTOR SHALL COORDINATE WITH FRAMING SUB-CONTRACTOR.
- ALL FOOTINGS SHALL MEET OR EXCEED MINIMUM FROST DEPTH PER LOCAL CODES AND REGULATIONS.
- THE BUILDER SHALL EMPLOY A STRUCTURAL ENGINEER. THE SERVICES PROVIDED BY THE ENGINEER SHALL INCLUDE BUT IS NOT LIMITED TO: VERIFYING SOIL BEARING CAPACITY; ALL FOUNDATION WALL SIZES AND THICKNESSES; ALL FOUNDATION FOOTING SIZES, THICKNESSES, AND DEPTHS; ALL REBAR QUANTITIES, SIZES, AND PLACEMENT; AND DETERMINING STRUCTURAL JOIST SPANS.
- THE BUILDER SHALL PROVIDE A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS TO BE CONSTRUCTED. INSPECT ALL EXCAVATIONS AT LOCATIONS OF FOUNDATIONS AND/OR SLABS-ON-GRADE TO VERIFY THE ALLOWABLE SOIL BEARING CAPACITY. THE GEOTECHNICAL ENGINEER SHALL PROVIDE INSTRUCTION AND ON-SITE SUPERVISION FOR REMOVAL AND REPLACEMENT OF UNSUITABLE SOIL BEARING MATERIALS.
- FOUNDATIONS SHOWN IN THIS DOCUMENT ARE BASED ON AN ASSUMED MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 3000 PSF.
- IF ALLOWABLE SOIL BEARING CAPACITY IS LESS THAN INDICATED ABOVE, THE CONTRACTOR SHALL DELAY FOUNDATION CONSTRUCTION UNTIL PROPER MODIFICATIONS TO THE DESIGN CAN BE MADE BY THE STRUCTURAL ENGINEER.
- IF BEARING SOIL IN FOUNDATION EXCAVATIONS ARE SOFTENED BY EXPOSURE TO RAIN OR LEACHING OF GROUND WATER INTO THE EXCAVATION, THE SOFTENED SOIL SHALL BE REMOVED PRIOR TO CONCRETE PLACEMENT.
- ALTERNATE FOUNDATION SYSTEMS, OTHER THAN THAT WHICH IS SHOWN ON THE DRAWINGS, SHALL BE PRESENTED TO THE OWNER FOR REVIEW AND SHALL BE APPROVED BY LOCAL JURISDICTION AS NECESSARY TO CONFIRM COMPLIANCE WITH THE ENTIRE STRUCTURE PRIOR TO CHANGE BEING MADE.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL.
- THE NUMBER OF RISERS FROM GRADE TO PORCH SHALL BE DETERMINED IN FIELD ACCORDING TO FINISHED GRADE.
- DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE MASONRY WALLS, CENTER LINES OF PIERS, AND CENTER LINES OF THICKENED SLAB (WHERE APPLICABLE), UNLESS NOTED OTHERWISE.
- 6 MIL MIN. VAPOR RETARDER WILL BE PLACED BETWEEN GRAVEL AND CONCRETE SLAB WITH 6" MIN LAPPED JOINTS AT ALL INTERIOR SLABS.
- WHERE SHOWN, GRAVEL BELOW SLAB SHALL BE 4" MINIMUM DEPTH, TYPICAL.
- PROVIDE PLUMBING SLEEVE AS REQUIRED TO PROVIDE FOR PLUMBING FIXTURES AS SHOWN ON PLANS
- NO PLUMBING PENETRATION ALLOWED IN THICKENED SLAB AREAS UNDER BEARING WALLS.
- 8" MINIMUM FROM FINISHED GRADE TO WOOD FRAMING (SIDES AND REAR)
- TERMITE SHIELDS SHALL BE INSTALLED BETWEEN WOOD AND CONCRETE SURFACES.
- THE BUILDER SHALL PROVIDE POSITIVE DRAINAGE UNDERNEATH ALL SLABS AND AROUND THE PERIMETER OF THE HOUSE ON EITHER SIDE OF THE POURED CONCRETE FOOTING.
- FOUNDATION WALLS TO BE 8" OR 12" NOMINAL MASONRY BLOCK OVER MINIMUM 12" DEEP X 24" WIDE POURED CONCRETE FOOTING.
- ALL SUBGRADE SHALL BE COMPACTED TO 95% OR GREATER OF NATURAL BEARING CAPACITY, WITH NO VOIDS.
- SECURE ALL REBAR IN CORRECT POSITION USING METAL CHAIRS AND SPACERS AS REQUIRED PRIOR TO CONCRETE PLACEMENT.
- ALL FOUNDATION WALLS ENCLOSING BELOW GRADE SPACE SHALL BE WATERPROOFED, THE WATERPROOFING SHALL EXTEND FROM THE EDGE OF FOOTING TO FINISHED GRADE

NOTE:
BUILDER TO COORDINATE FINAL PORCH & STAIRS WITH GRADING PLAN AND LANDSCAPE ARCHITECTS DRAWINGS

NOTE:
REFER TO FRAMING PACKAGE FOR ALL JOIST ORIENTATION & SPACING, TYPICAL ALL LOCATIONS



1 FOUNDATION PLAN
1/4" = 1'-0"



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FIRST FLOOR PLAN

A101

PLAN NOTES

- ALL DIMENSIONS ON PLANS ARE TO THE OUTSIDE FACE OF STUD UNLESS NOTED OTHERWISE. TYPICAL (3 1/2" DEEP) UNLESS NOTED OTHERWISE. ALL EXTERIOR WALLS ARE 2X4 WOOD STUDS, TYPICAL, AND ALL INTERIOR WALLS ARE 2X4 WOOD STUDS.
- ALL INTERIOR WALLS AND CEILINGS ARE PAINTED 1/2" GYP. BOARD UNLESS NOTED OTHERWISE.
- DIMENSIONS AT WINDOWS ARE TO CENTERLINE OF OPENINGS UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS TO HAVE PAINTED WOOD BASE TRIM UNLESS NOTED OTHERWISE. COORDINATE ALL TRIM PROFILES WITH BUILDER AND/OR INTERIOR DESIGNER.
- ALL FIRST FLOOR CEILING HEIGHTS ARE 10'-0" UNLESS NOTED OTHERWISE. ALL SECOND FLOOR CEILING HEIGHTS ARE 9'-0" UNLESS OTHERWISE NOTED.
- ALL WORK SHALL MEET OR EXCEED ALL APPLICABLE CODES AND REGULATIONS.
- FIBER CEMENT OR GLASS MAT GYPSUM BACKER BOARD SHALL BE USED AT ALL TUB/SHOWER AREA.
- ALL ANGLES ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- FRAME ALL DOOR AND CASSED OPENING HEADER HEIGHTS AT +/- 8" 0" AT THE FIRST FLOOR AND AT THE SECOND FLOOR.
- SHOULD A THIRD STORY SPACE BE PLANNED, USE 2X6 OR DOUBLE 2X4 STUDS AT LOAD BEARING WALLS ON THE FIRST FLOOR CARRYING THAT THIRD STORY SPACE LOAD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL SPECIFIC REQUIREMENTS (SPACING, NAILING PATTERNS, ETC.) FOR THIS CONDITION WITH THE LOCAL CODES OFFICIALS PRIOR TO BEGINNING FRAMING ACTIVITIES.
- ALL STRUCTURAL HEADERS AT CASSED OPENINGS SHALL BE SIZED BY STRUCTURAL ENGINEER.
- ALL WALLS AT CASSED OPENINGS SHALL BE 2X6 STUD WALL MIN (2x8 PREFERRED).

FRAMING NOTES

- IF APPLICABLE, ENGINEERED FLOOR SYSTEM SHALL BE SPECIFIED AND INSTALLED PER MANUFACTURER'S REQUIREMENTS
- SUB-FLOORING SHOULD BE GLUED AND SCREWED TO FLOOR JOIST.
- ALL JOISTS ATTACHED BY HANGERS INTO STRUCTURAL BEAMS SHOULD BE GLUED AND SET IN HANGERS PER MANUFACTURER'S SPECIFICATIONS.
- ALL STUD WALLS SHOWN ARE 2X4 STUD WALLS UNLESS OTHERWISE SPECIFIED.
- SOLID BLOCKING MUST BE PROVIDED FOR ALL POINT LOADS FROM ABOVE FOR PROPER DIRECT BEARING.
- ALL WALLS AT CASSED OPENINGS SHALL BE 2X6 STUD WALL MIN (2X8 PREFERRED).
- ALL INTERIOR DOORS SHALL BE FRAMED 6" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.

FINISH NOTES

- PAINT MECHANICAL ITEMS LOCATED IN THE CEILING OR WALL, SUCH AS DIFFUSERS, GRILLS, ETC. TO MATCH ADJACENT SURFACE IN WHICH THEY OCCUR. CONFIRM COLOR WITH BUILDER.
- ALL GYPSUM BOARD CEILINGS TO BE PAINTED PURE WHITE UNLESS OTHERWISE NOTED. CONFIRM WITH BUILDER.
- PROVIDE CONTINUOUS BEAD OF PAINTABLE SEALANT AT ALL WOOD TRIM AS NECESSARY TO PREVENT ANY GAPS BETWEEN TRIM AND GYPSUM BOARD. PAINT SEALANT TO MATCH TRIM.
- ALL INTERIOR WALLS AND CEILINGS ARE SMOOTH & PAINTED 1/2" GYP. BOARD UNLESS NOTED OTHERWISE.

AREA CALCULATIONS

| BASED ON OUTSIDE FACE OF STUD | |
|-------------------------------|----------------|
| HEATED | |
| FIRST FLOOR | 2060 SF |
| SECOND FLOOR | 1810 SF |
| HEATED | 3869 SF |
| UNHEATED | |
| 2 CAR GARAGE | 579 SF |
| FRONT PORCH | 142 SF |
| REAR PORCH | 292 SF |
| UNHEATED | 1013 SF |
| GRAND TOTAL | 4883 SF |

WINDOW SCHEDULE

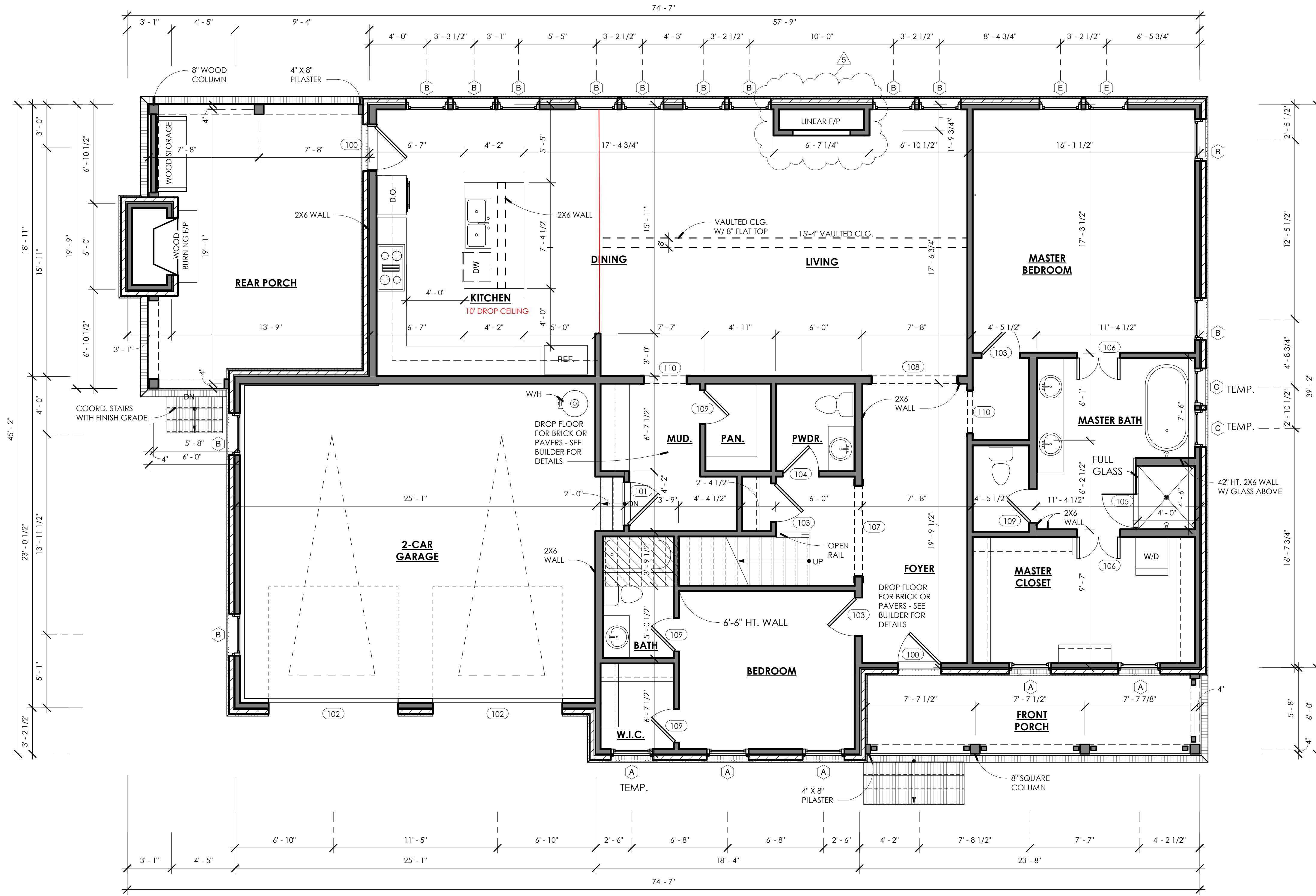
| MARK | WINDOW | HEAD HEIGHT | COMMENTS |
|------|-------------|-------------|----------------------|
| A | 2'-8" 8'-0" | 8'-0" | DOUBLE HUNG |
| B | 2'-8" 6'-0" | 8'-0" | DOUBLE HUNG |
| C | 2'-4" 4'-6" | 8'-0" | DOUBLE HUNG |
| E | 2'-8" 6'-0" | 8'-0" | DOUBLE HUNG-TEMPERED |
| F | 2'-0" 6'-0" | 8'-0" | DOUBLE HUNG |
| G | 2'-8" 2'-0" | 10'-5 1/2" | FIXED-SEE ELEVATION |
| H | 2'-0" 2'-0" | 10'-5 1/2" | FIXED-SEE ELEVATION |
| J | 2'-8" 2'-8" | 8'-0" | FIXED |
| K | 2'-8" 5'-2" | 8'-0" | DOUBLE HUNG |

DOOR SCHEDULE

| NO. | DOOR | HEAD HEIGHT | COMMENTS |
|-----|-------------|-------------|----------------|
| 106 | 3'-0" 8'-0" | 8'-1" | (2) 1680 |
| 107 | 6'-4" 8'-0" | 8'-1" | CASSED OPENING |
| 108 | 6'-0" 8'-0" | 8'-1" | CASSED OPENING |
| 109 | 2'-4" 8'-0" | 8'-1" | |
| 110 | 3'-0" 8'-0" | 8'-1" | CASSED OPENING |
| 111 | 3'-6" 8'-0" | 8'-1" | CASSED OPENING |

DOOR SCHEDULE

| NO. | DOOR | HEAD HEIGHT | COMMENTS |
|-----|-------------|-------------|----------------------|
| 100 | 3'-0" 8'-0" | 8'-1" | MATCH ELEVATION |
| 101 | 3'-0" 8'-0" | 8'-1" | |
| 102 | 9'-0" 8'-1" | 8'-1" | OVERHEAD GARAGE DOOR |
| 103 | 2'-8" 8'-0" | 8'-1" | |
| 104 | 2'-6" 8'-0" | 8'-1" | |
| 105 | 2'-4" 8'-0" | 8'-1" | GLASS SHOWER DOOR |



1 FIRST FLOOR PLAN
1/4" = 1'-0"

10'-0" CEILING HEIGHT UNLESS NOTED OTHERWISE



PLAN NOTES

- ALL DIMENSIONS ON PLANS ARE TO THE OUTSIDE FACE OF STUD UNLESS NOTED OTHERWISE. TYPICAL (3 1/2" DEEP) UNLESS NOTED OTHERWISE. ALL EXTERIOR WALLS ARE 2X4 WOOD STUDS, TYPICAL, AND ALL INTERIOR WALLS ARE 2X4 WOOD STUDS.
- ALL INTERIOR WALLS AND CEILINGS ARE PAINTED 1/2" GYP. BOARD UNLESS NOTED OTHERWISE.
- DIMENSIONS AT WINDOWS ARE TO CENTERLINE OF OPENINGS UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS TO HAVE PAINTED WOOD BASE TRIM UNLESS NOTED OTHERWISE. COORDINATE ALL TRIM PROFILES WITH BUILDER AND/OR INTERIOR DESIGNER.
- ALL FIRST FLOOR CEILING HEIGHTS ARE 10'-0" UNLESS NOTED OTHERWISE. ALL SECOND FLOOR CEILING HEIGHTS ARE 9'-0" UNLESS OTHERWISE NOTED.
- ALL WORK SHALL MEET OR EXCEED ALL APPLICABLE CODES AND REGULATIONS.
- FIBER CEMENT OR GLASS MAT GYPSUM BACKER BOARD SHALL BE USED AT ALL TUB/SHOWER AREA.
- ALL ANGLES ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- FRAME ALL DOOR AND CASIED OPENING HEADER HEIGHTS AT +/- 8'-0" AT THE FIRST FLOOR AND AT THE SECOND FLOOR.
- SHOULD A THIRD STORY SPACE BE PLANNED, USE 2X6 OR DOUBLE 2X4 STUDS AT LOAD BEARING WALLS ON THE FIRST FLOOR CARRYING THAT THIRD STORY SPACE LOAD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL SPECIFIC REQUIREMENTS (SPACING, NAILING PATTERNS, ETC.) FOR THIS CONDITION WITH THE LOCAL CODES OFFICIALS PRIOR TO BEGINNING FRAMING ACTIVITIES.
- ALL STRUCTURAL HEADERS AT CASIED OPENINGS SHALL BE SIZED BY STRUCTURAL ENGINEER.
- ALL WALLS AT CASIED OPENINGS SHALL BE 2X6 STUD WALL MIN (2x8 PREFERRED).

FRAMING NOTES

- IF APPLICABLE, ENGINEERED FLOOR SYSTEM SHALL BE SPECIFIED AND INSTALLED PER MANUFACTURER'S REQUIREMENTS
- SUB-FLOORING SHOULD BE GLUED AND SCREWED TO FLOOR JOIST.
- ALL JOISTS ATTACHED BY HANGERS INTO STRUCTURAL BEAMS SHOULD BE GLUED AND SET IN HANGERS PER MANUFACTURER'S SPECIFICATIONS.
- ALL STUD WALLS SHOWN ARE 2X4 STUD WALLS UNLESS OTHERWISE SPECIFIED.
- SOLID BLOCKING MUST BE PROVIDED FOR ALL POINT LOADS FROM ABOVE FOR PROPER DIRECT BEARING.
- ALL WALLS AT CASIED OPENINGS SHALL BE 2X6 STUD WALL MIN (2x8 PREFERRED).
- ALL INTERIOR DOORS SHALL BE FRAMED 6" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.

FINISH NOTES

- PAINT MECHANICAL ITEMS LOCATED IN THE CEILING OR WALL, SUCH AS DIFFUSERS, GRILLS, ETC. TO MATCH ADJACENT SURFACE IN WHICH THEY OCCUR. CONFIRM COLOR WITH BUILDER.
- ALL GYPSUM BOARD CEILINGS TO BE PAINTED PURE WHITE UNLESS OTHERWISE NOTED. CONFIRM WITH BUILDER.
- PROVIDE CONTINUOUS BEAD OF PAINTABLE SEALANT AT ALL WOOD TRIM AS NECESSARY TO PREVENT ANY GAPS BETWEEN TRIM AND GYPSUM BOARD. PAINT SEALANT TO MATCH TRIM.
- ALL INTERIOR WALLS AND CEILINGS ARE SMOOTH & PAINTED 1/2" GYP. BOARD UNLESS NOTED OTHERWISE.

AREA CALCULATIONS

| BASED ON OUTSIDE FACE OF STUD | |
|-------------------------------|----------------|
| HEATED | |
| FIRST FLOOR | 2060 SF |
| SECOND FLOOR | 1810 SF |
| HEATED | 3869 SF |
| UNHEATED | |
| 2 CAR GARAGE | 579 SF |
| FRONT PORCH | 142 SF |
| REAR PORCH | 292 SF |
| UNHEATED | 1013 SF |
| GRAND TOTAL | 4883 SF |

WINDOW SCHEDULE

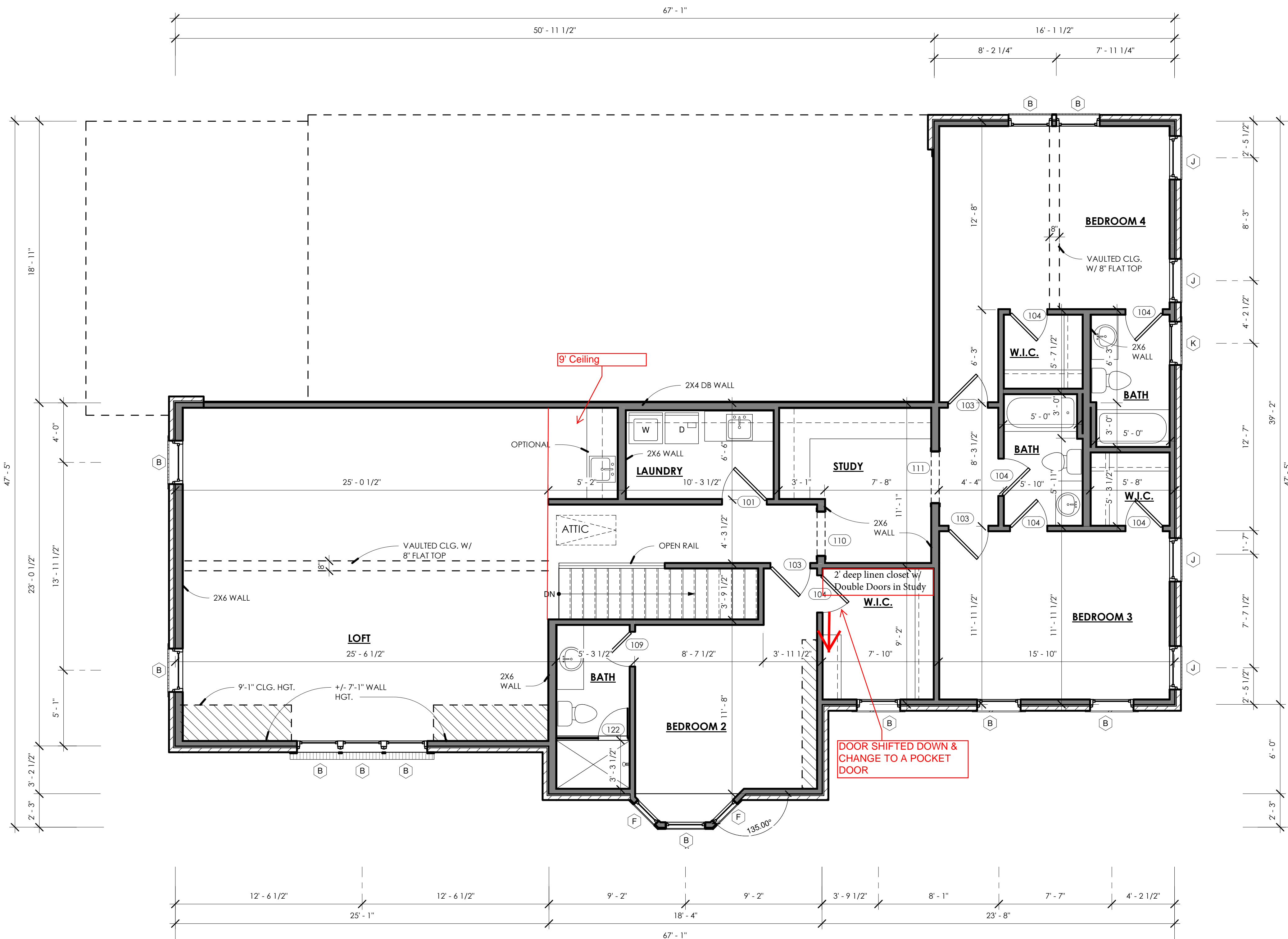
| MARK | WINDOW | | HEAD HEIGHT | COMMENTS |
|------|--------|--------|-------------|----------------------|
| | WIDTH | HEIGHT | | |
| A | 2'-8" | 8'-0" | 8'-0" | DOUBLE HUNG |
| B | 2'-8" | 6'-0" | 8'-0" | DOUBLE HUNG |
| C | 2'-4" | 4'-6" | 8'-0" | DOUBLE HUNG |
| E | 2'-8" | 6'-0" | 8'-0" | DOUBLE HUNG-TEMPERED |
| F | 2'-0" | 6'-0" | 8'-0" | DOUBLE HUNG |
| G | 2'-8" | 2'-0" | 10'-5 1/2" | FIXED-SEE ELEVATION |
| H | 2'-0" | 2'-0" | 10'-5 1/2" | FIXED-SEE ELEVATION |
| J | 2'-8" | 2'-8" | 8'-0" | FIXED |
| K | 2'-8" | 5'-2" | 8'-0" | DOUBLE HUNG |

DOOR SCHEDULE

| NO. | DOOR | | HEAD HEIGHT | COMMENTS |
|-----|-------|--------|-------------|----------------------|
| | WIDTH | HEIGHT | | |
| 100 | 3'-0" | 8'-0" | 8'-1" | MATCH ELEVATION |
| 101 | 3'-0" | 8'-0" | 8'-1" | |
| 102 | 9'-0" | 8'-1" | 8'-1" | OVERHEAD GARAGE DOOR |
| 103 | 2'-8" | 8'-0" | 8'-1" | |
| 104 | 2'-6" | 8'-0" | 8'-1" | |
| 105 | 2'-4" | 8'-0" | 8'-1" | GLASS SHOWER DOOR |

DOOR SCHEDULE

| NO. | DOOR | | HEAD HEIGHT | COMMENTS |
|-----|-------|--------|-------------|----------------|
| | WIDTH | HEIGHT | | |
| 106 | 3'-0" | 8'-0" | 8'-1" | (2) 1680 |
| 107 | 6'-4" | 8'-0" | 8'-1" | CASIED OPENING |
| 108 | 6'-0" | 8'-0" | 8'-1" | CASIED OPENING |
| 109 | 2'-4" | 8'-0" | 8'-1" | |
| 110 | 3'-0" | 8'-0" | 8'-1" | CASIED OPENING |
| 111 | 3'-6" | 8'-0" | 8'-1" | CASIED OPENING |



1 SECOND FLOOR PLAN
1/4" = 1'-0"

9'-0" CEILING HEIGHT UNLESS NOTED OTHERWISE

1/25/2022 10:55:01 AM

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| NO. | DESCRIPTION | DATE |
|-----|----------------------------|------------|
| | CONSTRUCTION SET | 05/10/2019 |
| 1 | PLAN CHANGES | 05/24/2019 |
| 2 | PLAN COMMENTS FROM BUILDER | 08/30/2019 |
| 3 | 2x6 WALL CHANGE | 11/05/2019 |
| 4 | PLAN CHANGES | 08/12/2020 |

Project Number
19.1012

SECOND FLOOR PLAN

A102

| NO. | DESCRIPTION | DATE |
|-----|------------------|------------|
| 1 | CONSTRUCTION SET | 05/10/2019 |
| 1 | PLAN CHANGES | 05/24/2019 |
| 3 | 2x6 WALL CHANGE | 11/05/2019 |

Project Number
19.1012

ROOF PLAN

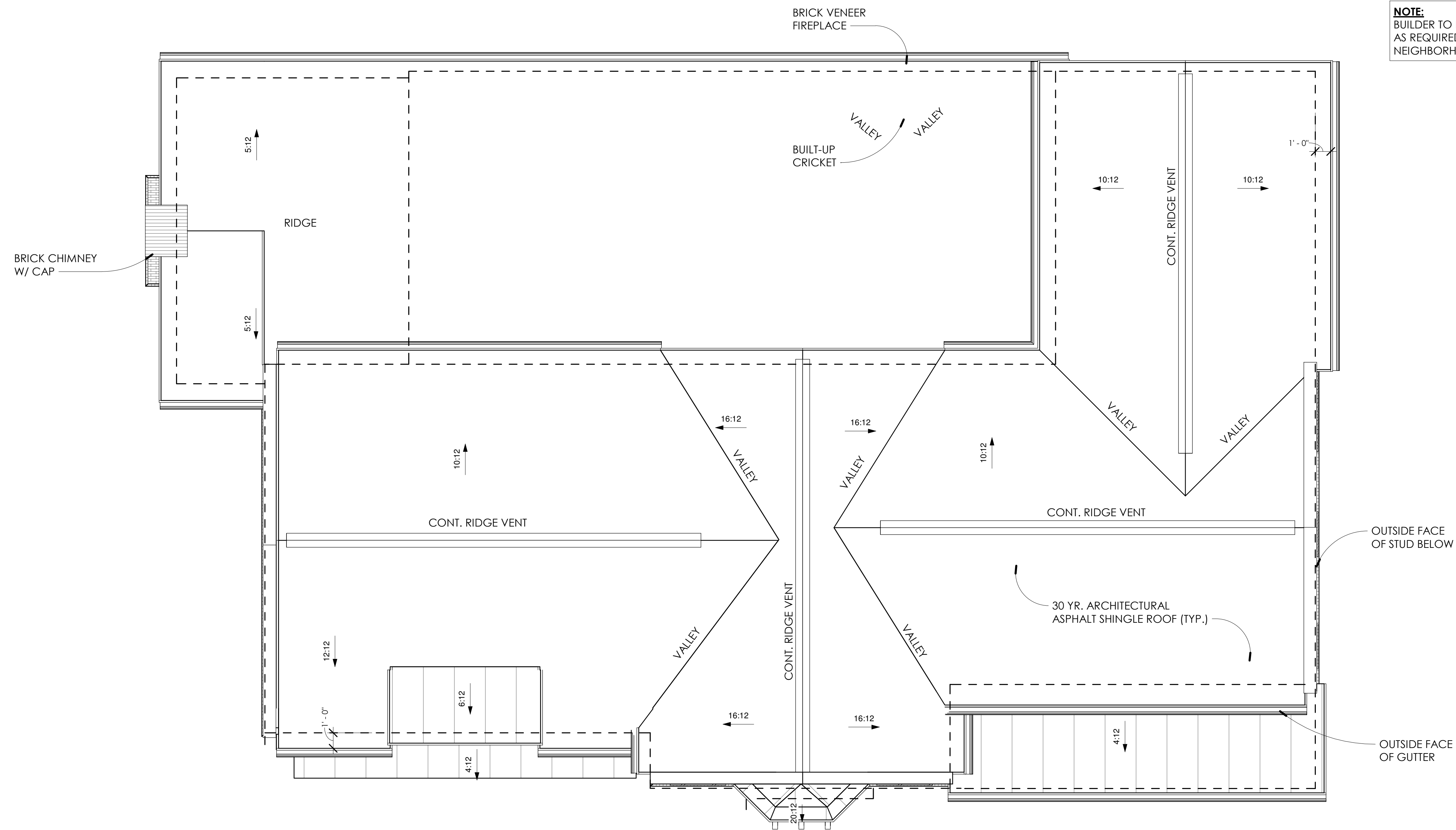
A110

ROOF PLAN NOTES

1. TYP. ROOF SYSTEM ASSUMED TO BE 2X8 RAFTER @ 16" O.C. UNLESS OTHERWISE NOTED. BUILDER TO CONFIRM WITH STRUCTURAL ENGINEER.
2. ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE AND THE OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW.
3. AT EAVE OR CORNICE VENTS, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.
4. APPLY ROOFING IN CONFORMANCE WITH IRC APPLICABLE CODES. BALCONIES, LANDINGS, EXTERIOR STAIRWAYS, OCCUPIED ROOFS AND SIMILAR SURFACES EXPOSED TO THE WEATHER SHALL BE WATERPROOFED AND SLOPED A MINIMUM OF 1/4" PER FOOT (2%) FOR DRAINAGE.
5. PROVIDE ATTIC VENTILATION AS PER IRC CODE REQUIREMENTS.

NOTE:
SUBCONTRACTOR TO COORDINATE LOCATION OF ALL PLUMBING / MECHANICAL VENTS, ATTIC BOX VENTS AND CHIMNEY PENETRATIONS ON REAR OF ROOF

NOTE:
BUILDER TO PROVIDE ROOF VENTILATION SYSTEM AS REQUIRED BY CODE & IN COMPLIANCE WITH NEIGHBORHOOD REGULATIONS

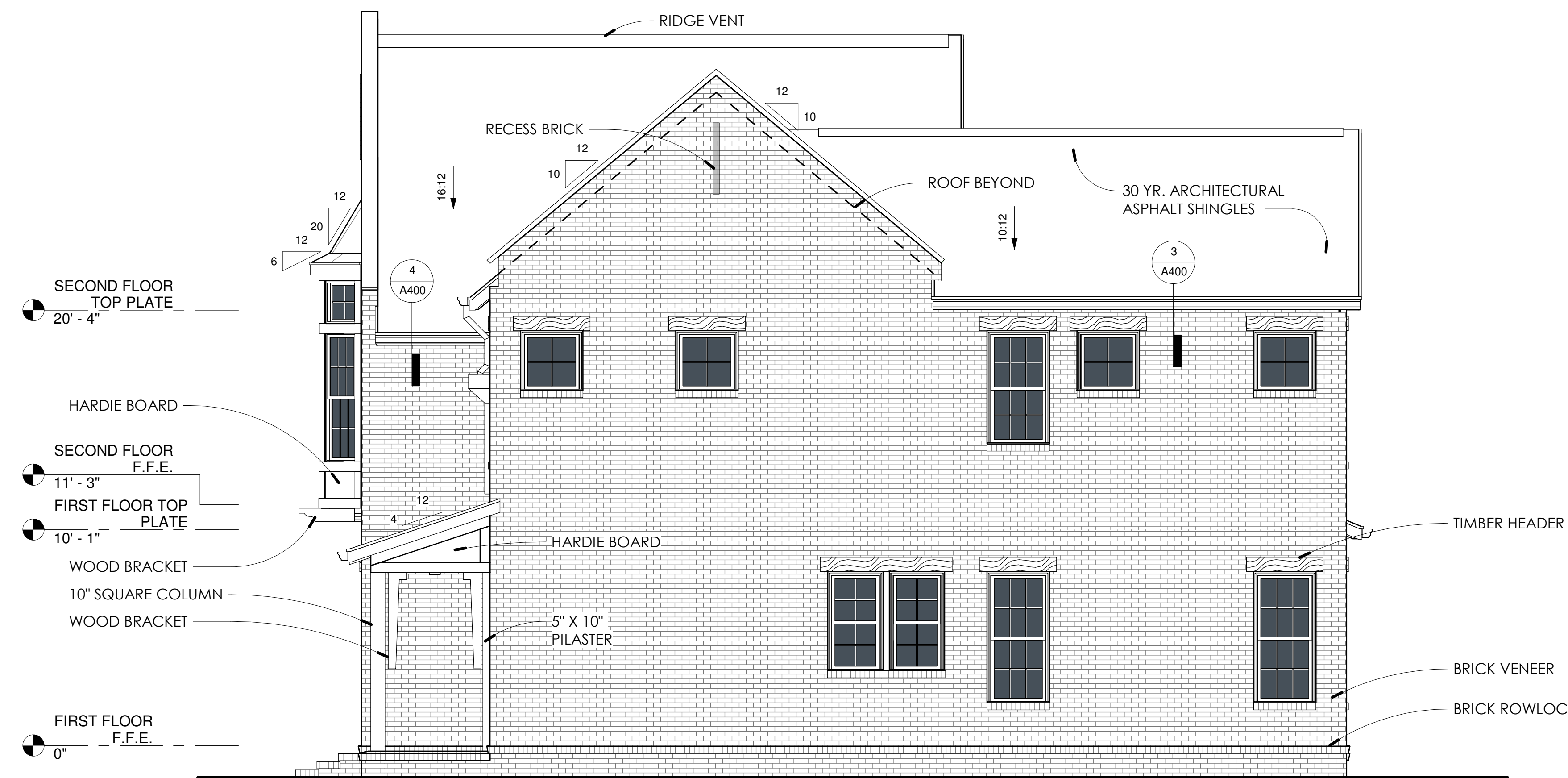
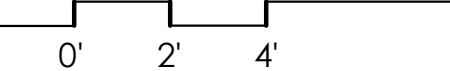


1 ROOF PLAN
1/4" = 1'-0"



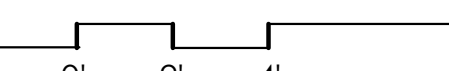
1 FRONT ELEVATION

1/4" = 1'-0"



2 RIGHT ELEVATION

1/4" = 1'-0"



DOWNSPOUT NOTE:

DOWNSPOUTS NOT SHOWN FOR CLARITY. BUILDER TO PROVIDE DOWNSPOUTS IN COMPLIANCE W/ IRC REQUIREMENTS.

NOTE:
WINDOW GLAZING EQUALS 13% OF GROSS WALL AREA

NOTE:
DECOR. DOWNSPOUTS SHOWN FOR DESIGN INTENTION ONLY. SUPPLEMENT AS REQ'D.

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| 4 | PLAN CHANGES | 08/12/2020 |

Project Number

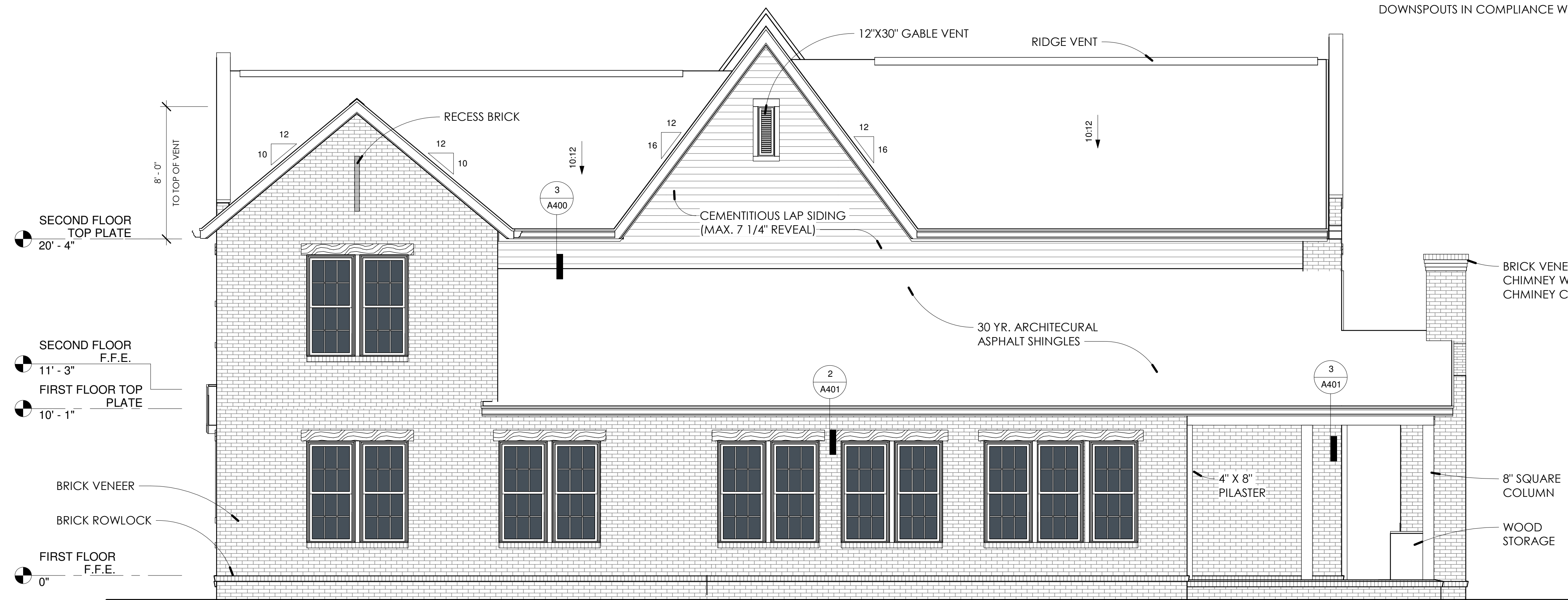
19.1012

ELEVATIONS

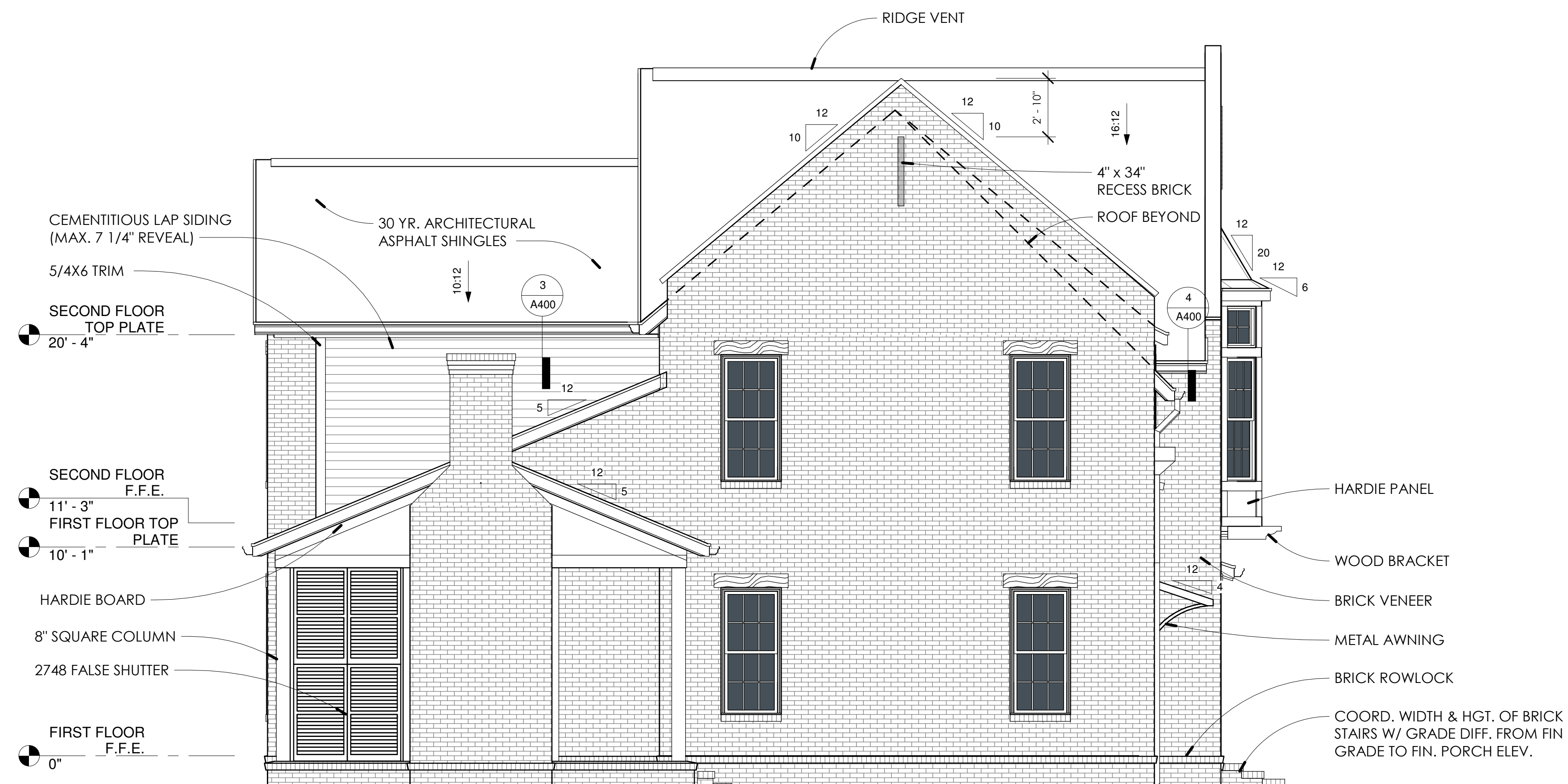
A300

DOWNSPOUT NOTE:

DOWNSPOUTS NOT SHOWN FOR CLARITY. BUILDER TO PROVIDE
DOWNSPOUTS IN COMPLIANCE W/ IRC REQUIREMENTS.



1 REAR ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"

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| NO. | DESCRIPTION | DATE |
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| | CONSTRUCTION SET | 05/10/2019 |
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| 4 | PLAN CHANGES | 08/12/2020 |

Project Number
19.1012

ELEVATIONS

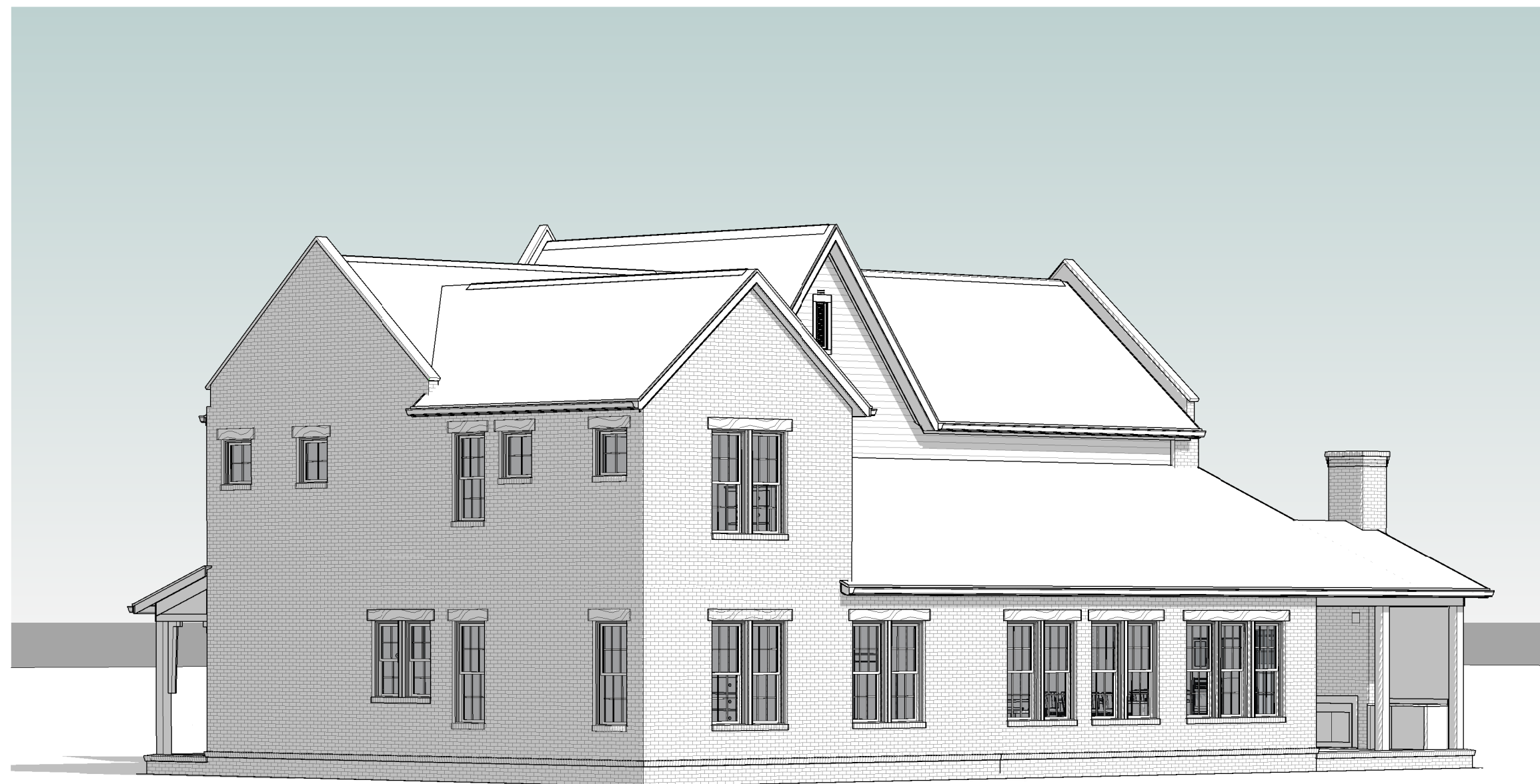
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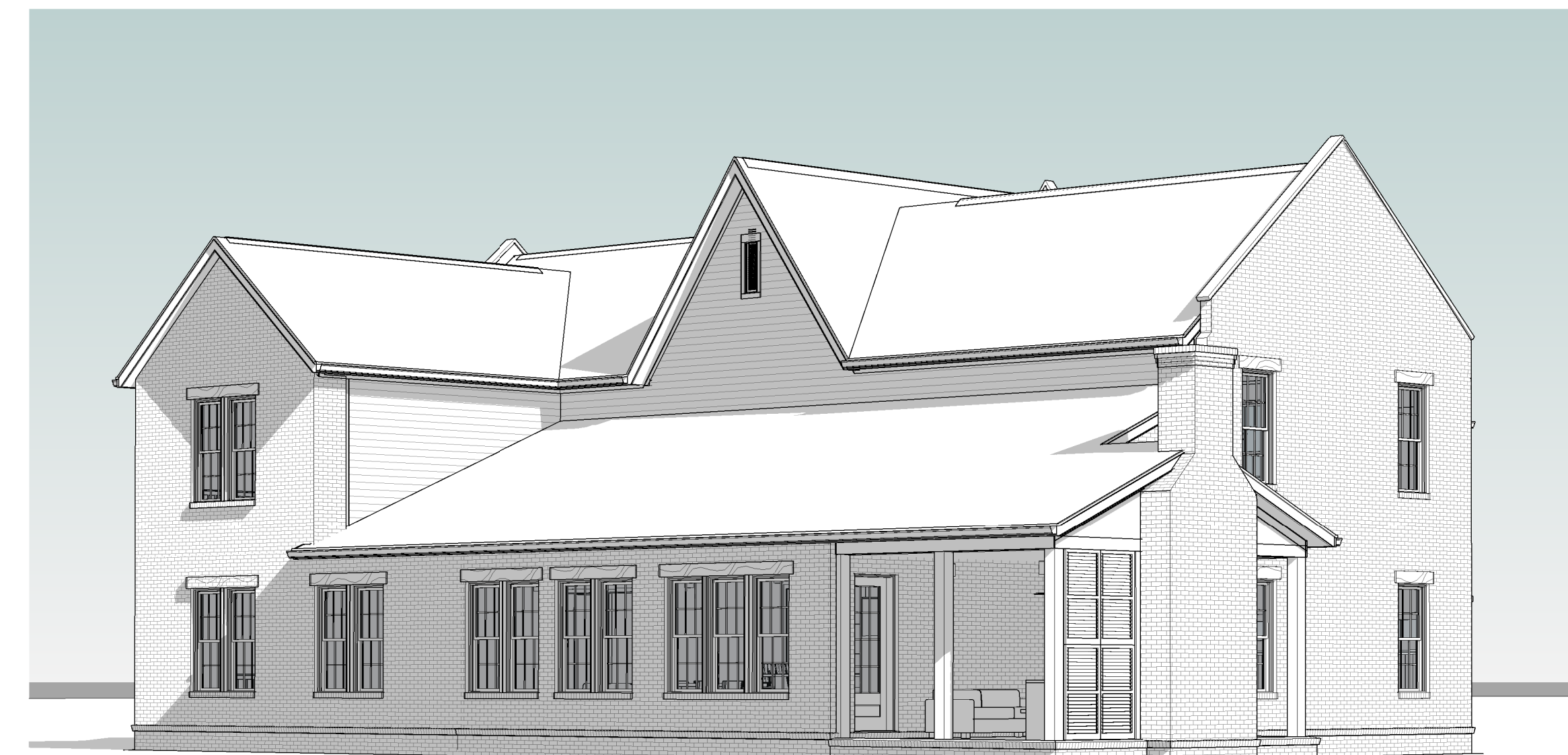
1 PERSPECTIVE VIEW 1



2 PERSPECTIVE VIEW 2



3 PERSPECTIVE VIEW 3



4 PERSPECTIVE VIEW 4

| NO. | DESCRIPTION | DATE |
|-----|------------------|------------|
| | CONSTRUCTION SET | 05/10/2019 |
| 3 | 2x6 WALL CHANGE | 11/05/2019 |

Project Number
19.1012

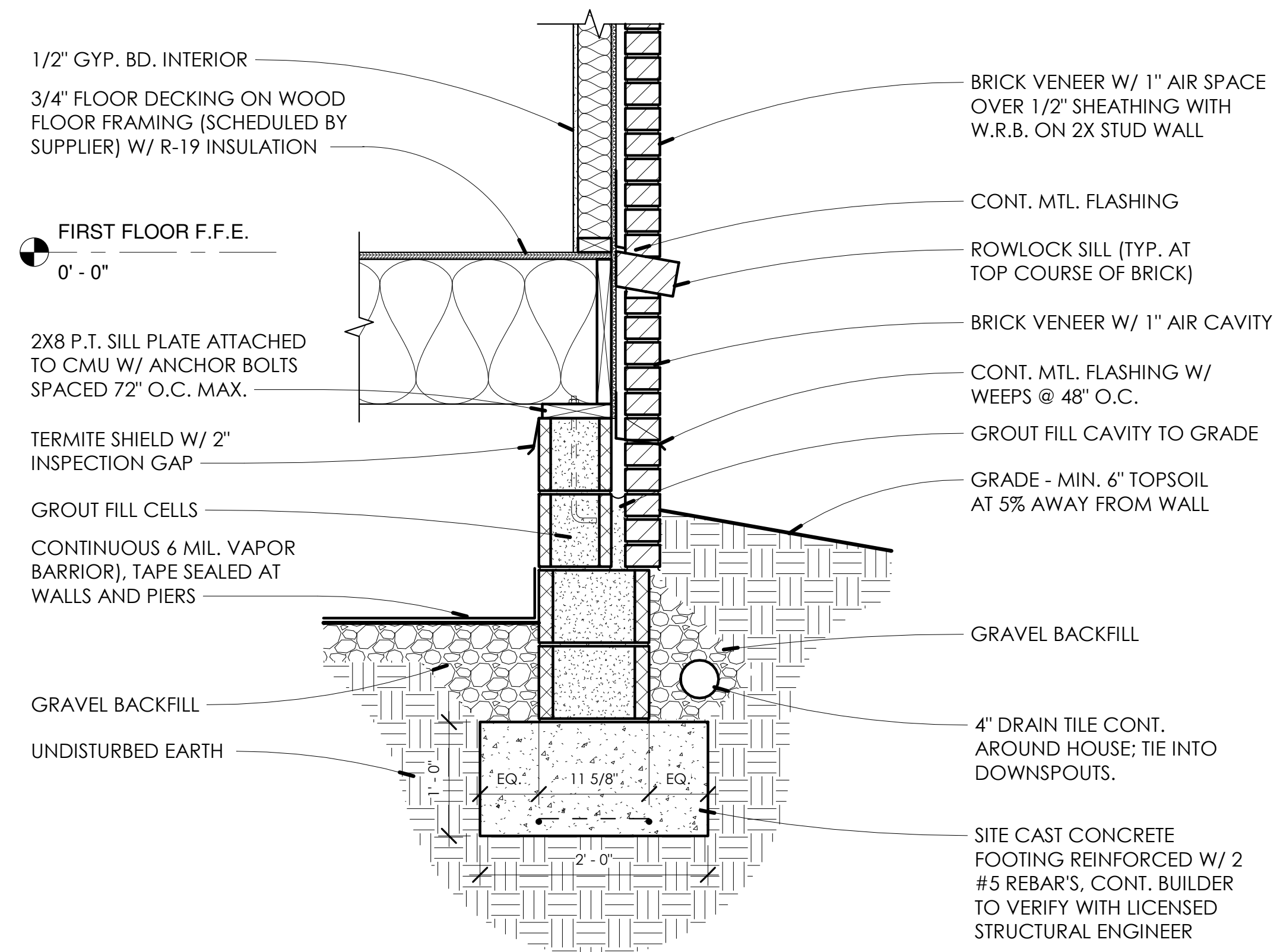
PERSPECTIVE VIEWS

| NO. | DESCRIPTION | DATE |
|-----|------------------|------------|
| | CONSTRUCTION SET | 05/10/2019 |
| 3 | 2x6 WALL CHANGE | 11/05/2019 |

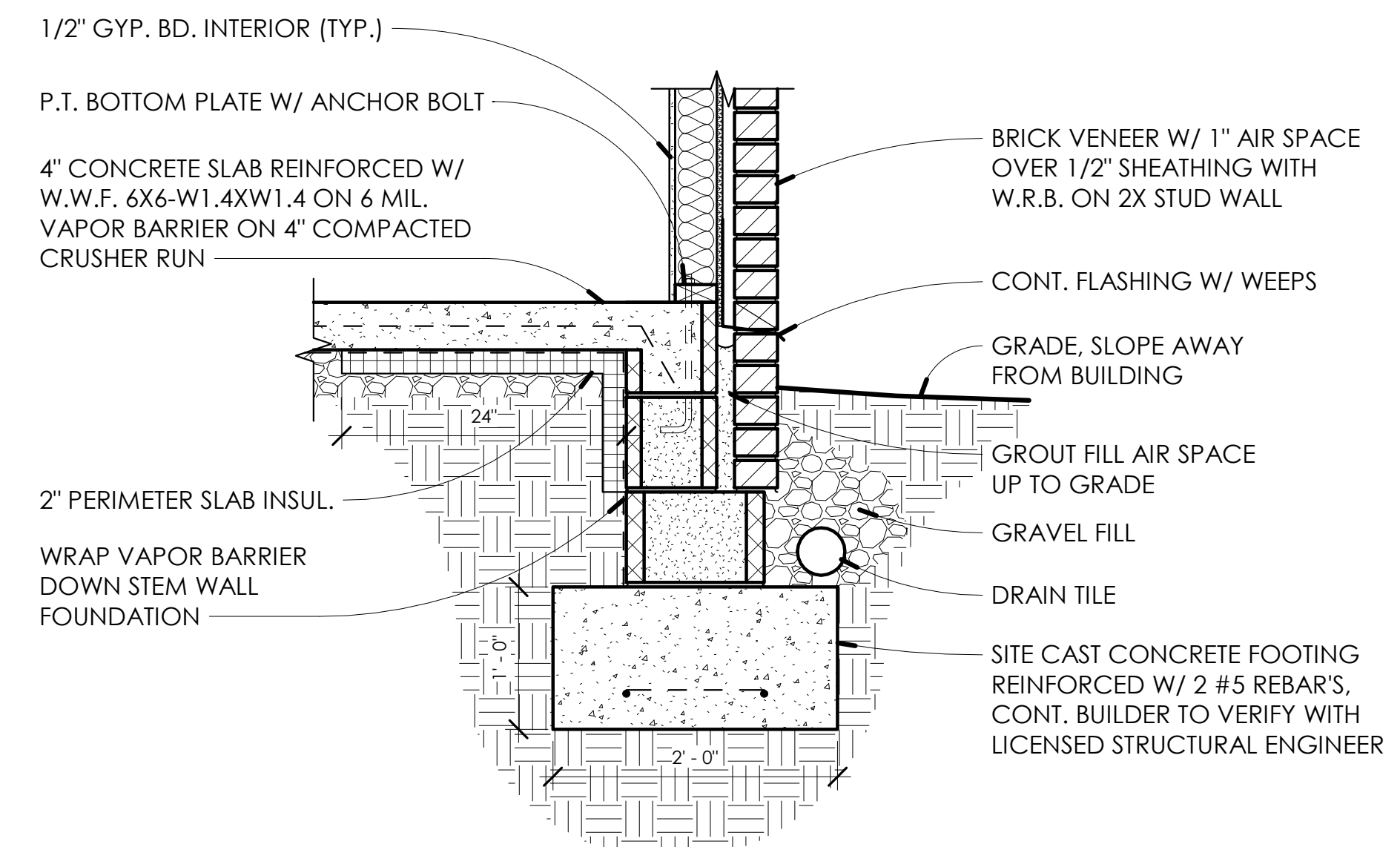
Project Number
19.1012

DETAILS

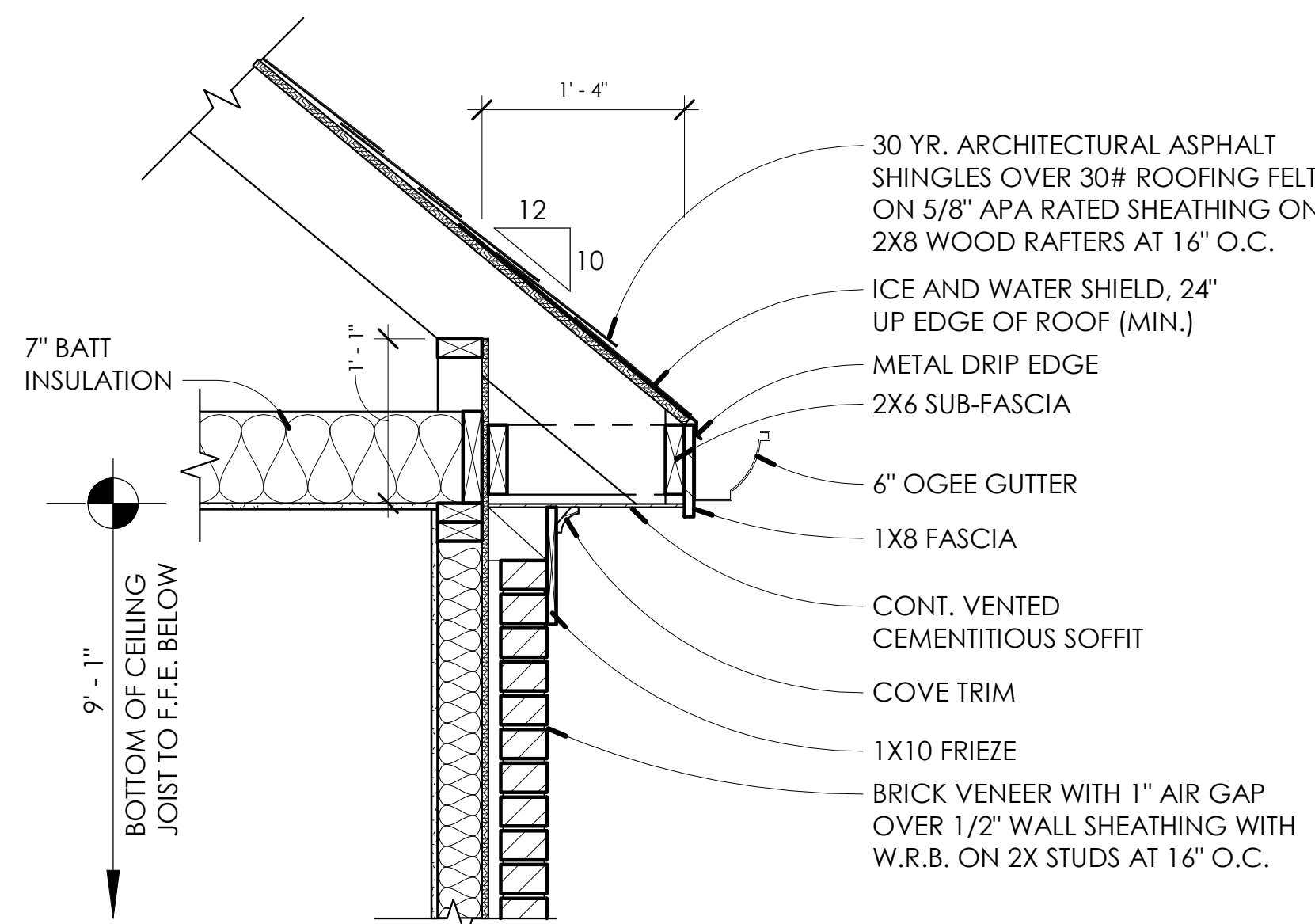
A400



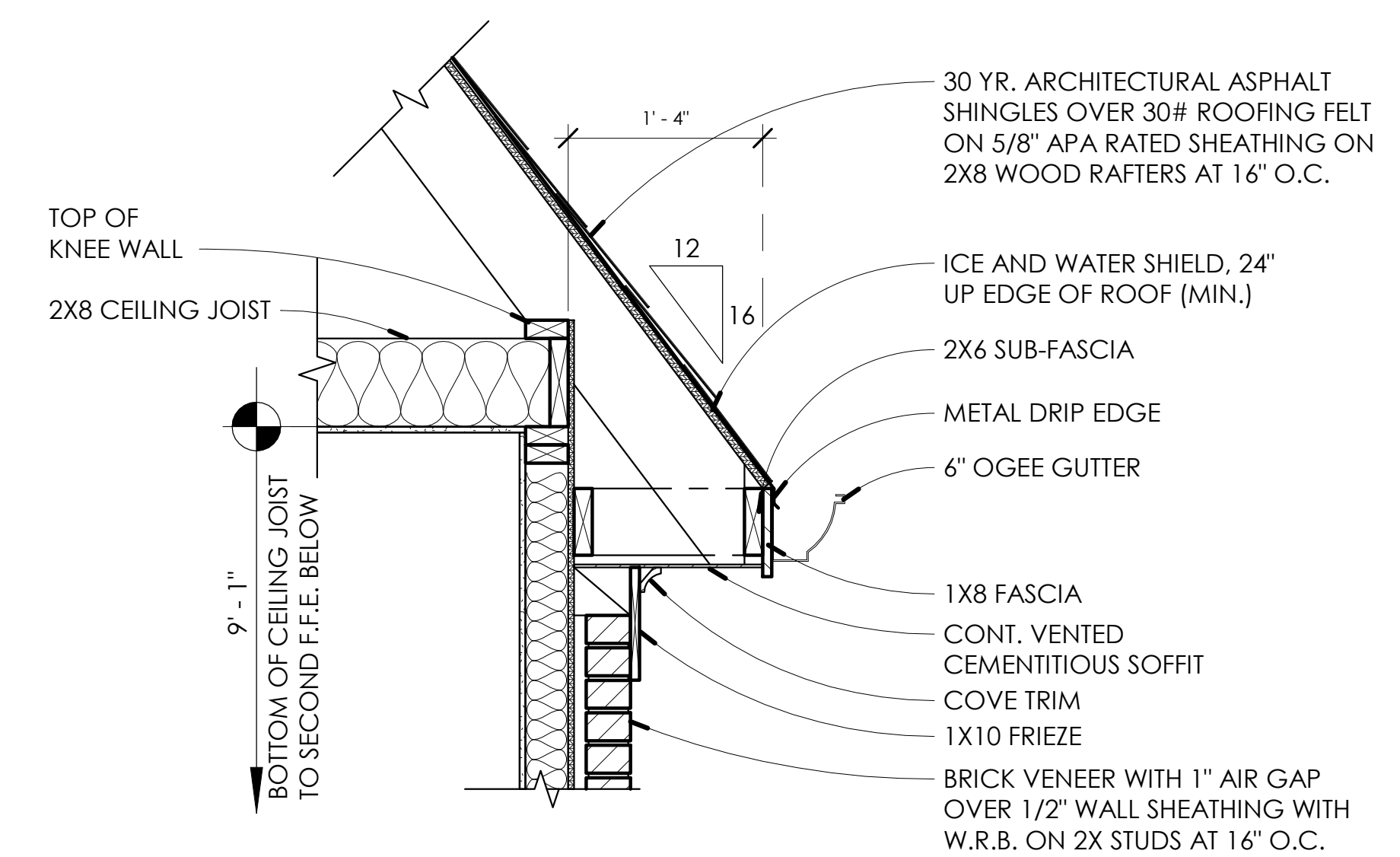
1 FOUNDATION - GENERAL
1" = 1'-0"



2 FOUNDATION - GARAGE
1" = 1'-0"

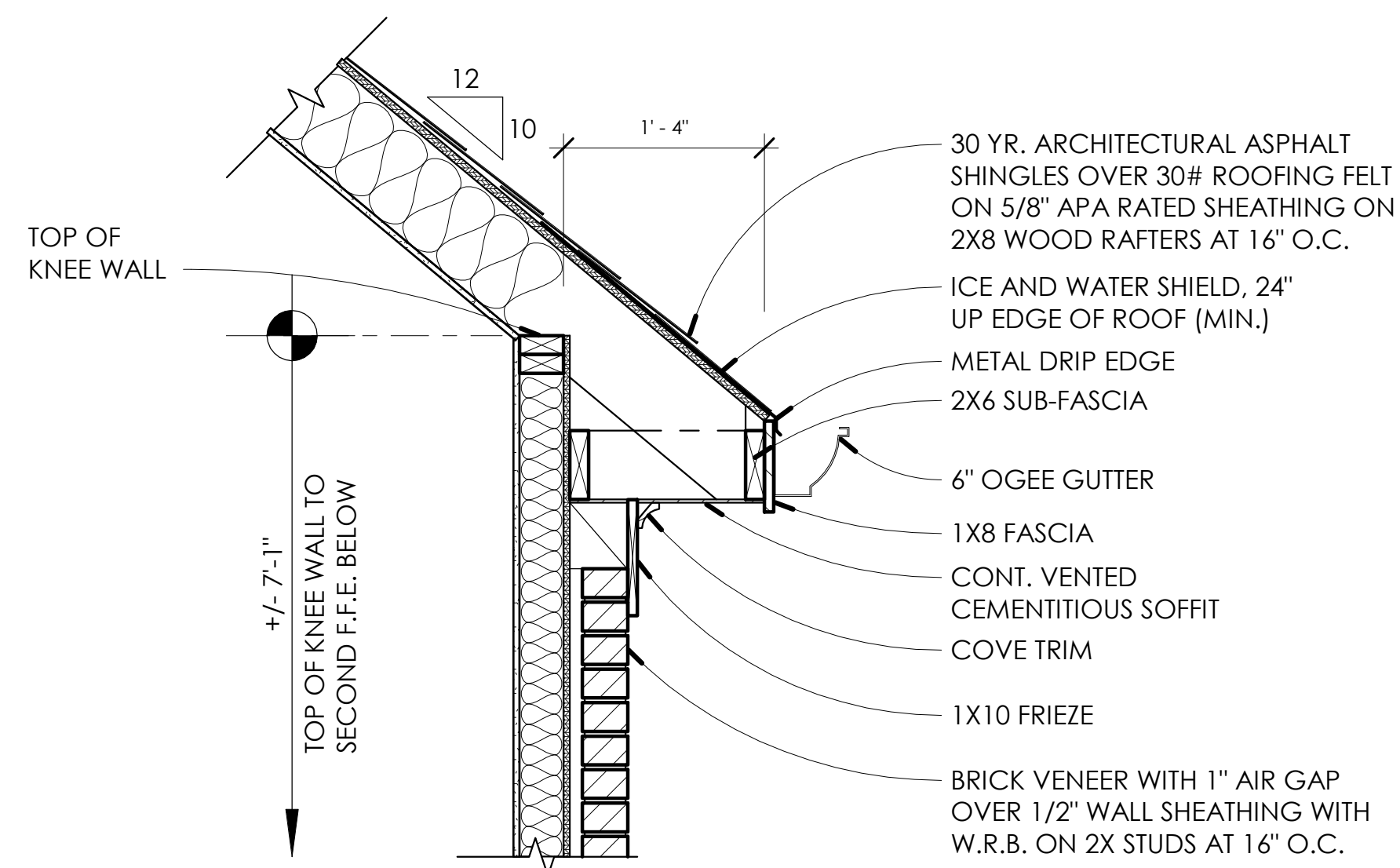


3 10/12 PITCH CORNICE DETAIL
1" = 1'-0"

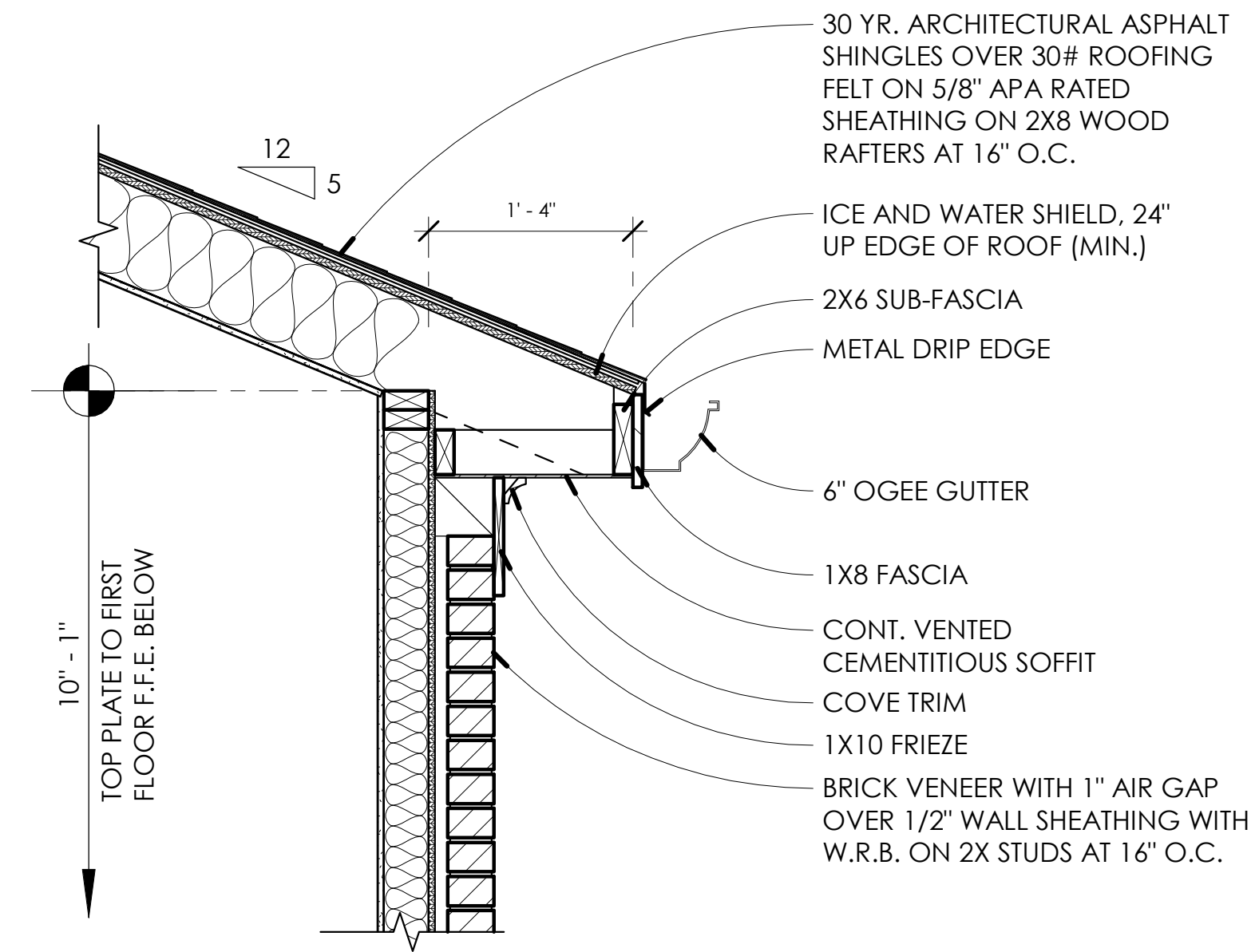


4 16/12 PITCH CORNICE DETAIL
1" = 1'-0"

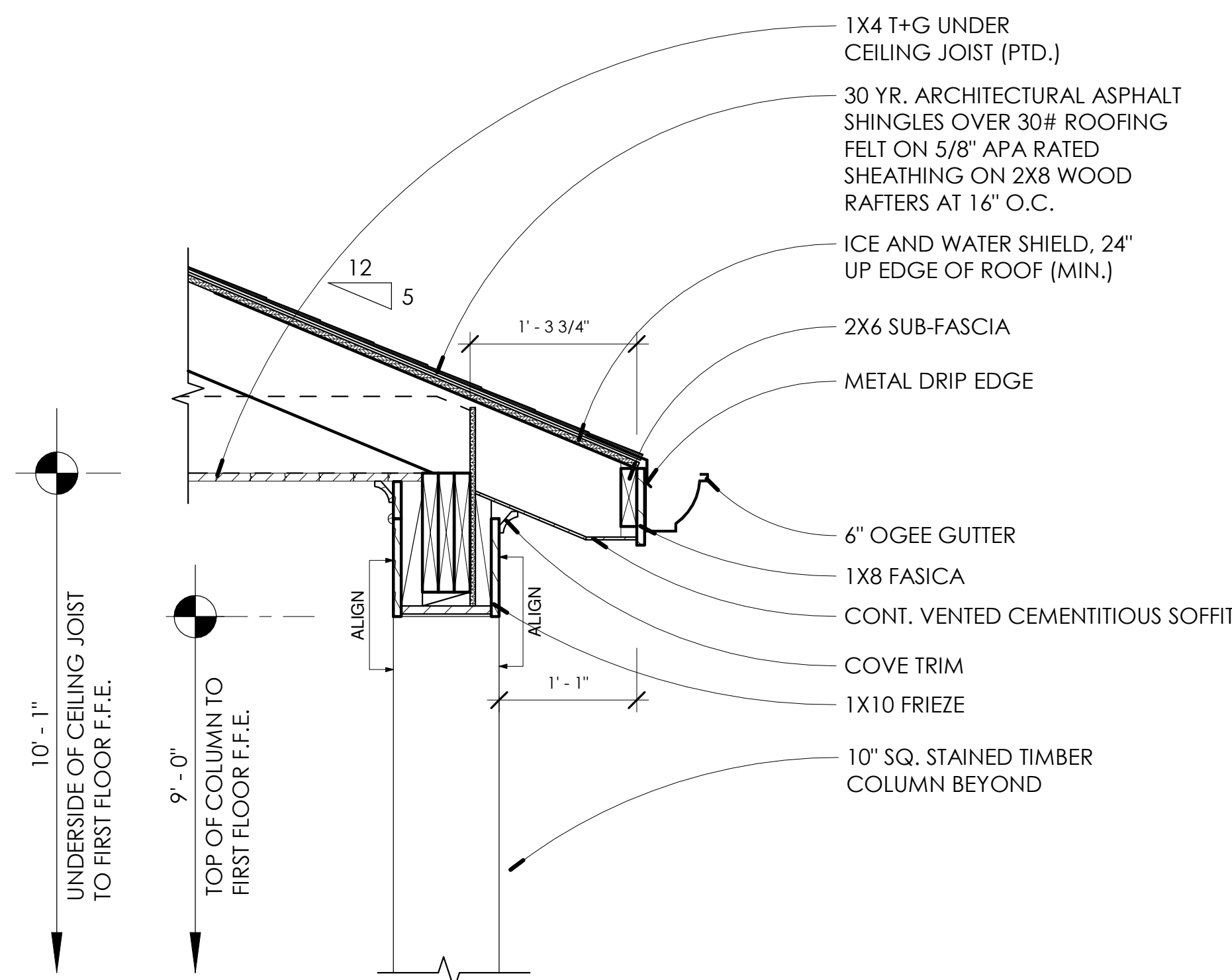
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| 1 | PLAN CHANGES | 05/24/2019 |
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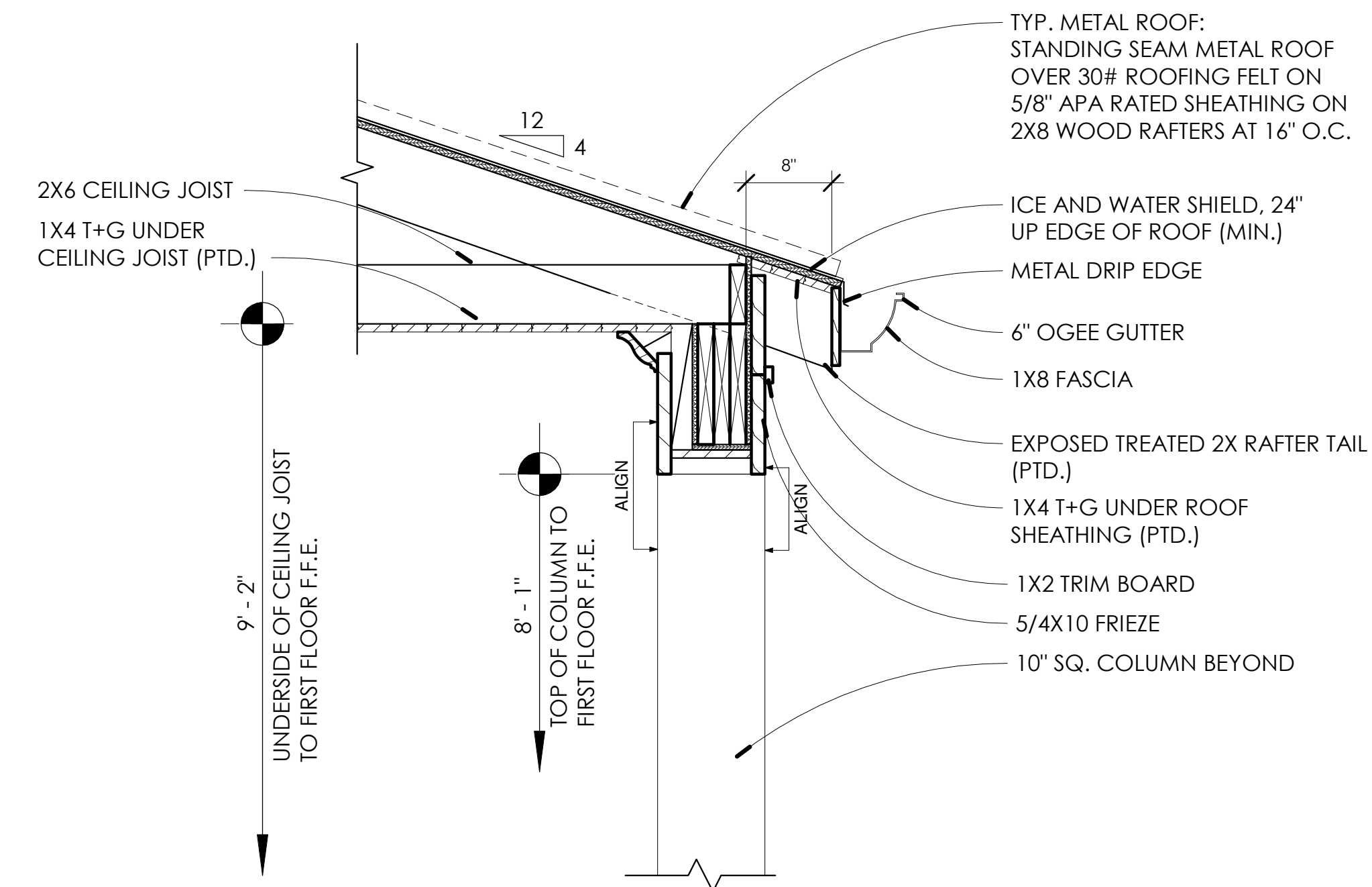
1 10/12 PITCH CORNICE DETAIL BONUS RM
1" = 1'-0"



2 5/12 PITCH CORNICE DETAIL
1" = 1'-0"



3 REAR PORCH CORNICE DETAIL
1" = 1'-0"


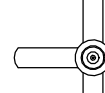

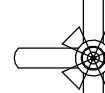

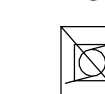



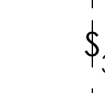

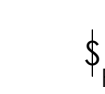

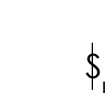















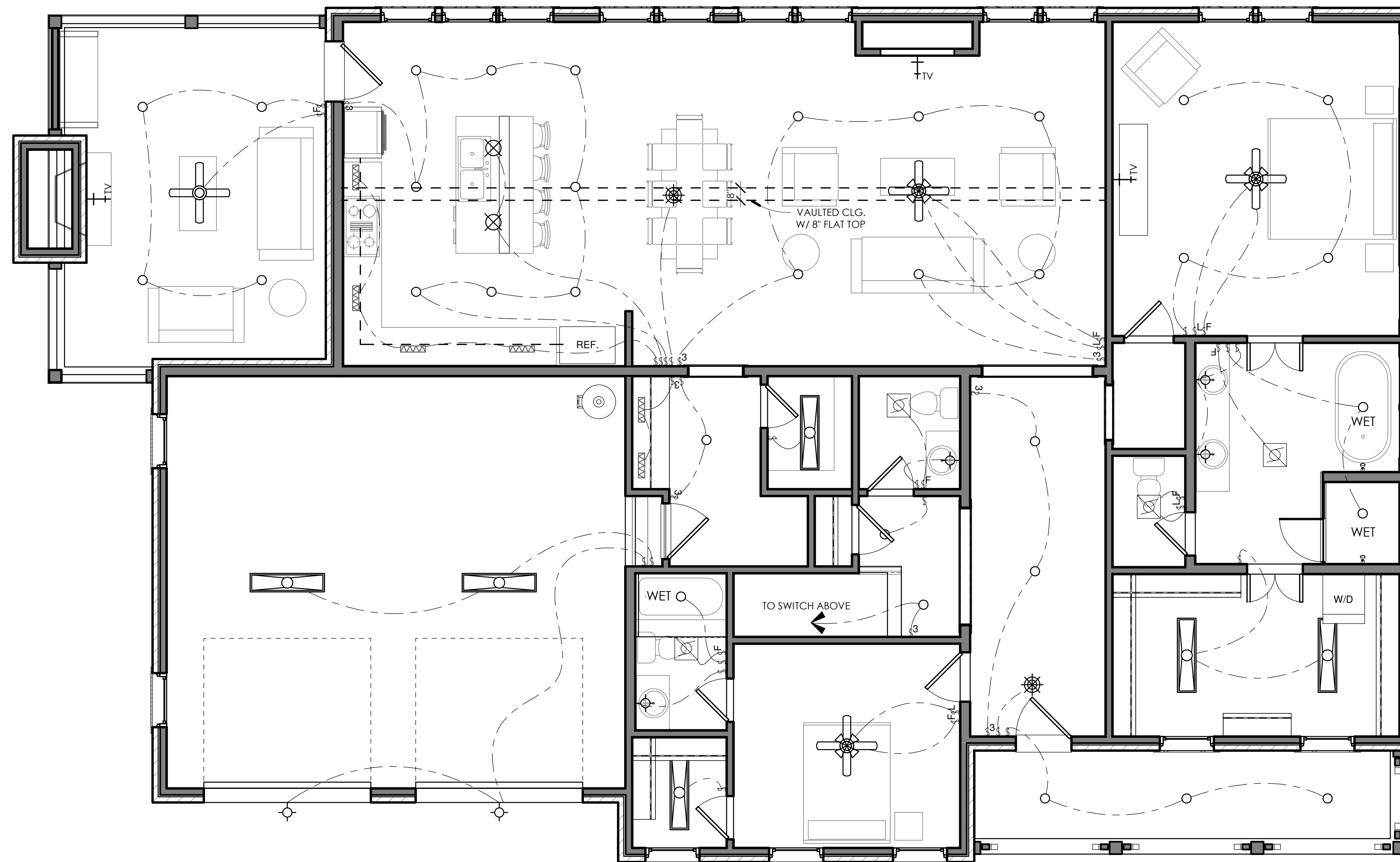
4 FRONT PORCH DETAIL
1" = 1'-0"

ELECTRICAL PLAN NOTES

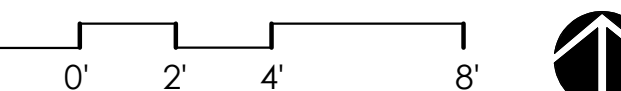
- THIS DRAWING IS PROVIDED TO SUGGEST DESIGN INTENT ONLY. BUILDER TO LOCATE ELECTRICAL OUTLETS PER LOCAL CODES.
- FINAL FIXTURE SELECTION AND EXACT LOCATION TO BE DETERMINED BY BUILDER ON SITE.
- PROVIDE ALL NECESSARY ELECTRICAL PROVISIONS TO ENSURE THAT ALL APPLIANCES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO WASHER, DRYER, FREEZER, REFRIGERATOR, COOK TOP, VENT HOOD, OVEN, DISHWASHER, FOOD DISPOSAL, TRASH COMPACTOR, HVAC EQUIPMENT, ALARM SYSTEM, WATER HEATER, ETC. CAN OPERATE AS REQUIRED.
- COORDINATE WITH LOCAL APPLICABLE CODES FOR THE LOCATION AND REQUIRED QUANTITY OF SMOKE DETECTORS THROUGHOUT THE HOUSE.
- LOCATE ALL METERS OUT OF DIRECT VIEW FROM THE FRONT OF THE HOUSE.
- SIZE ELECTRICAL PANELS PER LOCAL CODES TO CONFORM TO ALL CALCULATED LOADS AS WELL AS PROVIDE FOR A MINIMUM OF EIGHT (8) SPARES.
- SINGLE AND GROUP SWITCHES SHALL BE LOCATED AS CLOSE AS POSSIBLE WITHOUT INTERSECTING ANY DOOR/WINDOW TRIM.
- PROVIDE "GFCI" TYPE, AS REQUIRED BY LOCAL CODES, FOR ALL OUTLETS IN GARAGE, OUTSIDE AND/OR NEAR WATER CONDITIONS SUCH AS, BUT NOT LIMITED TO, VANITIES, WASHERS, SINKS, TUB, SHOWER, ETC.
- LIGHT FIXTURES SHALL ALIGN OR CENTER ON EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENT.
- COORDINATE LOCATION OF LIGHT FIXTURES WITH HVAC GRILLES SO THAT THEY ALIGN OR AT LEAST ARE SYMMETRICAL WITH EACH OTHER.
- PROVIDE OUTLET AT ALARM PANEL LOCATION IF APPLICABLE.
- PROVIDE TWO LIGHTS AND TWO RECEPTACLES IN ATTIC. LOCATE SWITCH NEAR ATTIC ACCESS.

ELECTRICAL LEGEND

| | | | |
|---|---|---|-----------------------------------|
|  | EXTERIOR, LANTERN TYPE, ORNAMENTAL, WALL MOUNTED LIGHT FIXTURE |  | CEILING FAN |
|  | EXTERIOR, SECURITY TYPE, SOFFIT MOUNTED LIGHT FIXTURE |  | CEILING FAN W/ LIGHT KIT |
|  | RECESSED FIXTURE |  | EXHAUST FAN WITH LIGHT FIXTURE |
|  | RECESSED WALL FLOOD FIXTURE |  | EXHAUST FAN WITHOUT LIGHT FIXTURE |
|  | FEATURE/CHANDELIER TYPE LIGHT FIXTURE |  | SINGLE POLE SWITCH |
|  | CEILING MOUNTED LIGHT FIXTURE |  | THREE WAY SWITCH |
|  | WALL MOUNTED INTERIOR LIGHT FIXTURE |  | FOUR WAY SWITCH |
|  | EXTERIOR SOFFIT MOUNTED LIGHT FIXTURE |  | EXHAUST OR CEILING FAN SWITCH |
|  | KEYLESS LIGHT FIXTURE |  | EXHAUST OR CEILING LIGHT SWITCH |
|  | WALL MOUNTED INTERIOR KEYLESS LIGHT FIXTURE |  | SURFACE MOUNTED 4 FT. LED FIXTURE |
|  | EYEBALL |  | SURFACE MOUNTED 2 FT. LED FIXTURE |
|  | FLOOR POWER OUTLET (COORDINATE EXACT LOCATION W/ OWNER AND PROPOSED FURNITURE LAYOUT) |  | LOW VOLTAGE TREAD LIGHT |
|  | SWITCHED POWER OUTLET |  | UNDER CABINET LOW VOLTAGE FIXTURE |
|  | CABLE/ TV OUTLET | | |



1 FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"



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| NO. | DESCRIPTION | DATE |
|-----|------------------|------------|
| 3 | CONSTRUCTION SET | 05/10/2019 |
| 3 | 2x6 WALL CHANGE | 11/05/2019 |
| 4 | PLAN CHANGES | 08/12/2020 |

Project Number
19.1012

ELECTRICAL PLAN

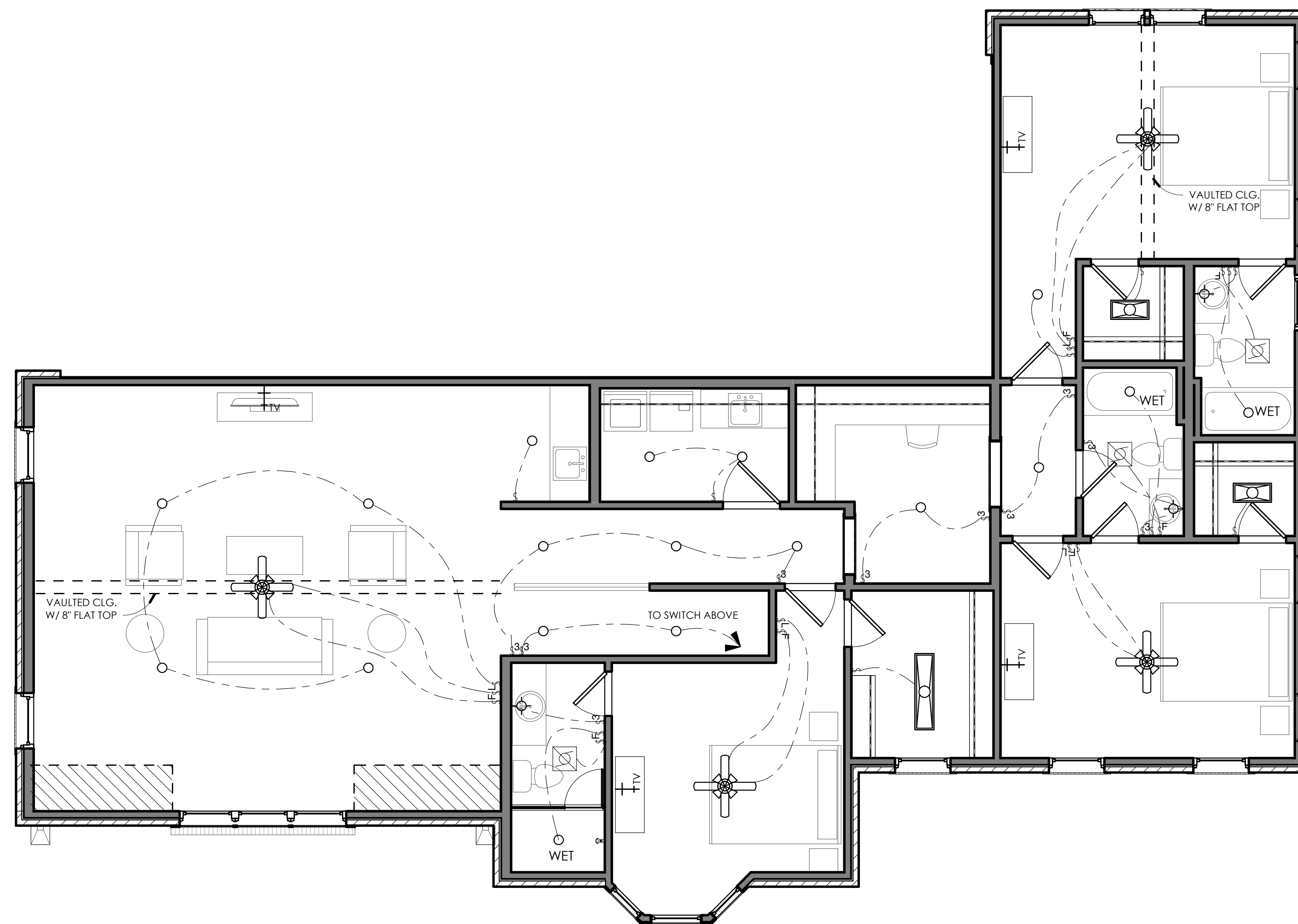
A600

ELECTRICAL PLAN NOTES

- THIS DRAWING IS PROVIDED TO SUGGEST DESIGN INTENT ONLY. BUILDER TO LOCATE ELECTRICAL OUTLETS PER LOCAL CODES.
- FINAL FIXTURE SELECTION AND EXACT LOCATION TO BE DETERMINED BY BUILDER ON SITE.
- PROVIDE ALL NECESSARY ELECTRICAL PROVISIONS TO ENSURE THAT ALL APPLIANCES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO WASHER, DRYER, FREEZER, REFRIGERATOR, COOK TOP, VENT HOOD, OVEN, DISHWASHER, FOOD DISPOSAL, TRASH COMPACTOR, HVAC EQUIPMENT, ALARM SYSTEM, WATER HEATER, ETC. CAN OPERATE AS REQUIRED.
- COORDINATE WITH LOCAL APPLICABLE CODES FOR THE LOCATION AND REQUIRED QUANTITY OF SMOKE DETECTORS THROUGHOUT THE HOUSE.
- LOCATE ALL METERS OUT OF DIRECT VIEW FROM THE FRONT OF THE HOUSE.
- SIZE ELECTRICAL PANELS PER LOCAL CODES TO CONFORM TO ALL CALCULATED LOADS AS WELL AS PROVIDE FOR A MINIMUM OF EIGHT (8) SPARES.
- SINGLE AND GROUP SWITCHES SHALL BE LOCATED AS CLOSE AS POSSIBLE WITHOUT INTERSECTING ANY DOOR/WINDOW TRIM.
- PROVIDE "GFCI" TYPE, AS REQUIRED BY LOCAL CODES, FOR ALL OUTLETS IN GARAGE, OUTSIDE AND/OR NEAR WATER CONDITIONS SUCH AS, BUT NOT LIMITED TO, VANITIES, WASHERS, SINKS, TUB, SHOWER, ETC.
- LIGHT FIXTURES SHALL ALIGN OR CENTER ON EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENT.
- COORDINATE LOCATION OF LIGHT FIXTURES WITH HVAC GRILLES SO THAT THEY ALIGN OR AT LEAST ARE SYMMETRICAL WITH EACH OTHER.
- PROVIDE OUTLET AT ALARM PANEL LOCATION IF APPLICABLE.
- PROVIDE TWO LIGHTS AND TWO RECEPTACLES IN ATTIC. LOCATE SWITCH NEAR ATTIC ACCESS.

ELECTRICAL LEGEND

| | | | |
|--|---|--|-----------------------------------|
| | EXTERIOR, LANTERN TYPE, ORNAMENTAL, WALL MOUNTED LIGHT FIXTURE | | CEILING FAN |
| | EXTERIOR, SECURITY TYPE, SOFFIT MOUNTED LIGHT FIXTURE | | CEILING FAN W/ LIGHT KIT |
| | RECESSED FIXTURE | | EXHAUST FAN WITH LIGHT FIXTURE |
| | RECESSED WALL FLOOD FIXTURE | | EXHAUST FAN WITHOUT LIGHT FIXTURE |
| | FEATURE/CHANDELIER TYPE LIGHT FIXTURE | | SINGLE POLE SWITCH |
| | CEILING MOUNTED LIGHT FIXTURE | | THREE WAY SWITCH |
| | WALL MOUNTED INTERIOR LIGHT FIXTURE | | FOUR WAY SWITCH |
| | EXTERIOR SOFFIT MOUNTED LIGHT FIXTURE | | EXHAUST OR CEILING FAN SWITCH |
| | KEYLESS LIGHT FIXTURE | | EXHAUST OR CEILING LIGHT SWITCH |
| | WALL MOUNTED INTERIOR KEYLESS LIGHT FIXTURE | | SURFACE MOUNTED 4 FT. LED FIXTURE |
| | EYEBALL | | SURFACE MOUNTED 2 FT. LED FIXTURE |
| | FLOOR POWER OUTLET (COORDINATE EXACT LOCATION W/ OWNER AND PROPOSED FURNITURE LAYOUT) | | LOW VOLTAGE TREAD LIGHT |
| | SWITCHED POWER OUTLET | | UNDER CABINET LOW VOLTAGE FIXTURE |
| | CABLE/ TV OUTLET | | |



1 SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

0' 2' 4' 8'



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ELECTRICAL PLAN